



Former Boswells Department Store

Broad Street

Oxford

Historic Building Investigation and Recording

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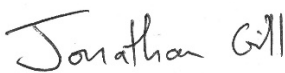
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Former Boswells Department Store, Broad Street, Oxford

Historic Buildings Investigation and Recording

Written by Deirdre Forde

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Summary

In January 2021, Oxford Archaeology (OA) was commissioned by Reef Estates (via Landgage Heritage) to undertake a programme of historic building recording prior to and during the conversion of Boswells Department Store in Oxford. The former Boswells Store is located at 1-5 Broad Street and also links through to 31 Cornmarket Street. The main building, Boswells House, was constructed in 1929 for H Boswell & Co Ltd with offices and a restaurant upstairs above the main department store.

Boswells closed in early 2020 and planning permission was granted for the conversion of the building to a hotel (20/02480/FUL). The building is not listed but it is within the Oxford Central (University and City) Conservation Area.

1 INTRODUCTION

1.1 Project Background

1.1.1 Oxford Archaeology (OA) was commissioned by Reef Estates (via Landgage Heritage) to undertake a programme of historic building recording prior to and during the conversion of Boswells Department Store in Oxford. The former Boswells Store is located at 1-5 Broad Street and also links through to 31 Cornmarket Street. The main building, Boswells House, was constructed in 1929 for H Boswell & Co Ltd with offices and a restaurant upstairs above the main department store. Boswells closed in early 2020 and planning permission was granted for the conversion of the building to a hotel (20/02480/FUL). The building is not listed but it is within the Oxford Central (University and City) Conservation Area.

1.1.2 A condition was attached to the permission for historic building recording and a social history project (encompassing oral history recording). This condition stated:

No development shall take place until the applicant, or their agents or successors in title, has secured the implementation of a programme of history building recording and social/oral history project in accordance with a written scheme of investigation which has been submitted by the applicant and approved by the planning authority. All works shall be carried out and completed in accordance with the approved written scheme of investigation, unless otherwise agreed in writing by the Local Planning Authority.

1.1.3 This report covers the building recording side of the condition. The social/oral history side of the project has been addressed separately. Another condition was attached for below-ground archaeological works but this will form a separate report by OA.

1.1 Location

1.1.1 The site is located in the centre of Oxford close to the junction between Broad Street and Cornmarket Street. The main department Store (Boswell House) is located at 1-5 Broad Street although the building also incorporates two further small retail units and the shop also links through to 31 Cornmarket. There is a separate shop (Waterstones) on the corner site between the Broad Street store and 31 Cornmarket.

1.2 Aims and Objectives

1.2.1 The overall aims of the project were;

- to record for posterity the building prior to its alteration during development;
- to investigate areas of the interior which were exposed during the conversion and thereby enhance understanding of the historic form of the store;
- to contribute to a wider social/oral history study being undertaken separately;
- to make the record publicly accessible through a report (a public document) and a project archive deposited with a public institution;
- To disseminate the results through the production of a site archive for deposition with an appropriate museum and to provide information for accession to the Oxfordshire HER.

1.3 Methodology

- 1.3.1 The recording was carried out at Level 2, as defined by Historic England in their document *Understanding Historic Buildings: A Guide to Good Recording Practice*.
- 1.3.2 A Level 2 Record is defined as... *a **descriptive record**... Both the exterior and interior of the building will be seen, described and photographed. The examination of the building will produce an analysis of its development and use and the record will include the conclusions reached, but it will not discuss in detail the evidence on which this analysis is based. A plan and sometimes other drawings may be made but the drawn record will normally not be comprehensive and may be tailored to the scope of a wider project.*
- 1.3.3 The building recording consisted of three main elements: a drawn record, a descriptive, written record and a photographic record.
- 1.3.4 The photographic recording of the building was carried out using a digital camera with up to 24-megapixel capability and stored in jpeg format. The photographs will include general views of the interior and exterior as well as photographs of items, features or archaeological details. All photographic records will be accompanied by a photographic register. A photographic scale will be used in images of features or artefacts. A flash will be used in some of the photographs.
- 1.3.5 Existing measured drawings of the building were annotated on site to explain, describe and interpret the building in terms of its construction, development and use.
- 1.3.6 The written record below is intended to supplement and support the other two elements of the recording and to provide additional descriptive analysis of the building in terms of its design, setting, construction, development, history and use.
- 1.3.7 The preliminary recording of the building took place on 21st January, 2021, with further visits during stripping out on 26th August, 2021, and 28th January, 2022.

2 BACKGROUND HISTORY

2.1 Introduction

2.1.1 The History of Boswells and the Historical Development and Map Regression below are extracted from *1 -5 Broad Street & 31 Cornmarket Street, Oxford; Built Heritage Statement and Townscape & Visual Impact Assessment*, by RPS Group (2020).

2.2 History of Boswells

2.2.1 Boswells was originally established in 1738 with a shop at No. 50 Cornmarket Street selling leather trunks and other travelling goods. The company remained in the same family until 1890 when it was purchased by Arthur Pearson. Pearson was a local businessman who had previously operated from No. 31 Cornmarket Street, a site he had acquired in 1882. In 1901 his occupation is listed as hardware merchant, managing director of a drug company and portmanteau manufacturer.

2.2.2 In c.1912 Pearson rebuilt No.31 Cornmarket; his Oxford Drug Company occupied the new building on this site while the ironmongers moved to a new site on George Street. The new building at No 31 Cornmarket was designed by Herbert Quinton of Pike & Messenger, a local architect of some importance who also designed the well-known former Frank Cooper's Marmalade Factory (1902) in Oxford.

2.2.3 During the 1920s the company acquired the leases for No.1-4 Broad Street in order to replace them with a new, much larger landmark building for H Boswell & Co Ltd. The buildings on the site included the former North Star public house (an 18th century building at No. 2) and the former premises of the local cabinet maker William Baker (No. 1 Broad Street). Baker also owned a large warehouse immediately to the rear and in 1914 he had moved into the site on the corner now occupied by Waterstones. The Oxford Encyclopedia records that the poet WB Yeats lived in one of the buildings.

2.2.4 The London architects Messrs North, Robin & Wilsdon were commissioned to prepare designs for the new building but due to the interest of the site the City Council's Town Planning Committee drew the attention of the Oxford Preservation Trust and they employed ASG Butler to also act as consulting architects. It appears that the internal arrangement of the initial scheme dealt well with the requirements of the site but that there some concern with the front elevation which would face the 18th-century part of Balliol College. In 1927 Butler prepared a revised design for the front elevation and this appears to be what was constructed; it is unclear whether Butler also redesigned the internal spaces or whether his work focused purely on the elevation.

2.2.5 The new Boswell House was a six-storey building comprising offices, a restaurant, and department store and it was opened in 1929. It was constructed by the building contractors Ephraim Organ & Son of Cowley Road. No. 4-5 Broad Street are within the building but form separate retail units.

2.2.6 Various changes to the buildings have been undertaken to the building since its original construction including:

- 1949/50 – new staircase installed; new stockroom and office block added at the rear adjacent to the Martyrs Bastion of the old city wall;
- 1956 – Rear block extended
- 1958 – Boswell House and No.31 Cornmarket Street connected to form a single L-shaped building.
- 1973 – the first and second floors were extended to provide further stock room space
- 1989 – a dance studio on the fourth floor was converted to offices
- 1998 – the restaurant was converted to a travel café
- 1999 – the entrances were remodelled to allow direct access to the upper floor café.

2.2.7 When it closed in 2020 Boswells was still owned by descendants of Arthur Pearson.

2.3 Historical Development and Map Regression

2.3.1 Robert Hoggar's 1850 Town Plan (Figure 2) shows in detail the individual buildings within the Site and the surrounding area. The frontages of the buildings along Broad Street and Cornmarket Street are clearly defined, with linear elements extending to their rear creating a network of built form, open space and courtyards within the centre of the block. This pattern of development is replicated within the surrounding area.

2.3.2 Within the wider context of the Site, the distinctive quadrangles of Balliol College to the north and Jesus College to the south are clearly depicted. The wide routes of Broad Street and Magdalen Street are also shown, reflecting their use as principal routes into and through the city.

2.3.3 The Site itself was redeveloped several times throughout the Post-Medieval period. In the early-nineteenth century, William Tredwell (or Treadwell) operated a van and waggon office from 31 Cornmarket Street and the area of which the Site forms part of between 30 & 31 Cornmarket Street was consequently known as 'Tredwell Yard' or 'Tredwell Passage' (Oxford History—'Treadwell's Yard'). The business was run by his daughter from 1839 until it closed in c.1843, although the name of the yard survived until 1911. A grouping of four small cottages ran along the northern side of Tredwell Yard (within the Site) as shown by the 1876 Ordnance Survey (OS) map (Figure 3).

2.3.4 In 1882, Arthur Pearson purchased 31 Cornmarket Street which had been run as a ironmongers by James Stanley Lowe (Oxford History—'31 Cornmarket Street'). Arthur Pearson is notable as the owner of the Oxford Drug Company from 1889, which was located on the corner of Broad Street and Cornmarket Street adjacent to the Site. Pearson had also bought the Boswell family business from Henry Boswell in 1890; the family-run goods store was set up by Francis Boswell in 1738 and was based at 50 Cornmarket Street at this time.

2.3.5 The 1900 OS map (Figure 4) shows no material changes within the Site or the surrounding area at this time. The 1910 Valuation map (Figure 5) also shows the same arrangement of buildings within the Site as understood from the 1876 OS map, and identifies the different uses of the buildings within the Site at this time:

No. of Assessment	Description of Property	Address
465	House	1 Treadwells Yard
466	House & Shop	30a Cornmarket Street
547	House	5 Broad Street
550	House & Shop	3 Broad Street
551	House & Shop	2 Broad Street
552	House & Shop	1 Broad Street

- 2.3.6 In 1912, Pearson demolished the existing building at 31 Cornmarket Street and rebuilt it in its present form as the location of the Oxford Drug Company (Figures 6-8). The ironmongers that had previously been run by Pearson from 31 Cornmarket Street relocated to premises on George Street.
- 2.3.7 The replacement building at 31 Cornmarket Street was designed by Herbert Quinton of Pike and Messenger, who was a notable architect in the city during the late-eighteenth and early-nineteenth centuries. The footprint of the replacement building is evident on the 1939 OS map (Figure 9).
- 2.3.8 Having acquired the original Boswells shop at 50 Cornmarket Street previously, Pearson sought to bring the various family businesses together into a single building. A large section of the southern frontage at the west end of Broad Street (nos. 1-5) were leased by Pearson and he employed architects Messrs North, Robin & Wilsdon of 35 Maddox Street, London to design a modern department store which was known as 'Boswell House' (Figures 10 & 11). When the plans were considered by the Council's Planning Committee, the Oxford Preservation Trust became involved in the scheme and A. S. G. Butler who acted as consulting architect on behalf of the Trust produced the final drawings for the new store in 1927 (Oxford History—'Nos.1-3, part of Boswells House') (Figure 12).
- 2.3.9 The original five buildings within the Site along Broad Street were demolished to make way for the new store; these included a cabinet maker at 1 Broad Street, the eighteenth century North Star pub at 2 Broad Street which was a tobacconist from 1914, and a wool depository which operated from 3 Broad Street (Oxford History—'Nos.1-3, part of Boswells House'). The department store was completed in 1929 and whilst it was around the corner from Pearson's other premises at 31 Cornmarket Street, they were separated by William Baker House (now Waterstones), which was built for furnishes Elliston & Cavell in 1914 (Oxford History—'Corner of Cornmarket'). The two premises were connected in 1958.
- 2.3.10 As shown by the 1992 OS map (Figure 13), there have been no material changes within the Site or the surrounding area since the mid-twentieth century. This map largely shows the extent and layout of the Site and its immediate context as presently understood today.

3 DESCRIPTION OF BOSWELLS DEPARTMENT STORE

3.1 Introduction

- 3.1.1 Boswells is a large complex that is spread over five storeys with a basement and sub-basement, making up seven levels altogether. The main shop front faces onto Broad Street and extends southwards behind the building on the corner of Broad Street and Cornmarket Street, now occupied by Waterstones. A narrow section of the store extends eastwards from Cornmarket Street, along the south side of Waterstones, to meet the Broad Street element at its south-west corner (Figures 15 - 22). The Cornmarket Street element is the older part of the store, built in 1912, with the Broad Street element being incorporated into the store in 1929. Between Boswells and the rear of Waterstones is an L-shaped lightwell from first floor level. A further lightwell cuts through the centre of the Broad Street element, dividing it north and south, from the basement upwards. The north part of the Broad Street element was occupied by a language school from first floor level until 2020. The basement and ground floor levels of nos. 4 and 5 Broad Street were occupied by separate retail units until 2020.
- 3.1.2 The basement, ground, and first floors made up the public department store and at the time of the initial survey, much of the modern shop fronts were still in place. The original 1920s interior behind these were revealed and recorded during the intermittent watching brief. The sub-basement, and second to fourth floors were largely made up of staff areas, offices, storage and workshops and recorded during the initial survey, as were the language school and nos. 4 and 5 Broad Street.

3.2 The exterior of Boswells Department Store

West Elevation (Cornmarket Street)

- 3.2.1 The elevation that faces west onto Cornmarket Street is the older street-facing façade of Boswells Store, dating to the rebuild of the original building in 1912. It is a narrow, four storey elevation, sandwiched between the two stone-built buildings to either side of it (Figure 14). It is a red brick elevation with broad cornices featuring diaper work in relief and bands of yellow brick across the first and second floors. That on the second floor has a course of yellow brick dentils. The west facing gable has 'Tudorbethan' timber framing under which is a band of yellow brick with yellow brick dentils. The gable roof has a black fascia board to the eaves with decorative quatrefoil cut-outs. On the south side of the roof is a red brick chimney with band of yellow brick dentils.
- 3.2.2 At ground floor level are the modern, glazed, double door of the Cornmarket Street entrance to the store. These are flanked by windows with panes that curve inwards towards the door opening. Over the doorway is a sign that says BOSWELLS & Co, under which it says DEPARTMENT STORE Est 1783.
- 3.2.3 The window in the first floor is a large, modern, picture window with casements and awning lights to each side. The window in the second floor is a modern, eight-light casement window and in the fourth floor is a three-light casement window, both

more in keeping with the historic character of the building that those in the ground and first floors.

North Elevation (Broad Street)

- 3.2.4 The elevation that faces north onto Broad Street dates to the expansion of Boswells Store in 1929. It is notably different in architectural style and represents the later period in which it was built (Figure 14). Due to its much larger scale and grand architecture, reflective of the growth of city centre retail at the time, it became the principal entrance to the store. The elevation is of seven bays built over four storeys in stone, with a fourth floor formed of a Mansard roof behind the parapet. The second bays from the east and west are flanked by broad stone pilasters and under the third floor is a deep, projecting string course. The pilasters feature Corinthian capitals on the second floor, under the string course, and pinnacle style mouldings on the fourth floor, where the parapets of the bays in between them rise to a shallow point.
- 3.2.5 The ground floor is a continuous, glazed shop front that is divided by the stone pilasters. At the time of closure, there was a modern double door into the store from Broad Street, and to the west of this were the shop fronts of 4 & 5 Broad Street, both with their own entrances. Across the first, second and third floors are ordered rows of windows, their size and proximity to each other almost creating a glazed effect across the elevation. Those on the first floor have alternating round and pointed pediments (Plate 1). The windows themselves are likely to be original and, despite having iron glazing bars, as was characteristic in the 1920s, they are in keeping with the restrained classical architecture of the elevation. They mostly have one large horizontal bar with a vertical bar to either side, creating margin lights. The lights are further divided into smaller panes. The windows along the third floor also retain original, iron-framed casement windows and the openings are more modest in size than those on the floors below. The Mansard roof of the fourth floor features a row of five large, flat-roofed dormer windows projecting from its north side.

Elevations of Lightwells

- 3.2.6 There are a series of elevations that face inwards over two lightwells behind the street facing elements of Boswells. The first is a lightwell that is L-shaped in plan and runs west to east between the Cornmarket Street building and Waterstones on the corner, and turns north, running between the east elevations of Waterstones and the Broad Street element of Boswells. On the west side of this, the rear red brick gable of the 1912 Cornmarket Street building can be viewed (Plate 2). Running eastwards from this is the lower, north facing elevation of the shop floors, which has large, timber framed, casement windows, dating to the 1929 build. This elevation is faced with white brick tiles. The lightwell is otherwise characterized by utilities for both Boswells and Waterstones on the corner.
- 3.2.7 The second lightwell is central to the Broad Street building, opening onto the alleyway on the east side. This lightwell reaches basement level and from the first floor upwards, divides the building north to south. The north, Broad Street facing side was a language school at the time of survey. This lightwell is faced with red brick on all elevations and is largely utilitarian in character with a large steel-framed

external staircase, and various utilities for Boswells and the language schools. The windows are mostly factory style, iron-framed Crittall windows, many of which were boarded over at the time of survey (Plate 3). However, in the north facing elevation, towards the west side, is a huge tripartite window that stretches over four floors and would once have illuminated a stairway on the interior of the store (it is now covered over on the inside). It is iron-framed with multiple panes and the broader, central light has a round head with a fanlight.

3.3 The Interior of Boswells Department Store

3.3.1 Introduction

3.3.2 Boswells is entered through the store doorways in the ground floor of the west and north elevations. There is also a goods entrance on the left hand side of the north elevation on the ground floor. All floors are accessed by means of a staircase at the south side of the Cornmarket Street element and two sets of staircases in the Broad Street element. The Broad Street element also has a large staircase in its north-west corner providing public access between the shop floors on ground and first floors and there is an external stairway in the central lightwell between the north and south parts of the building.

The Sub-Basement (Figure 15)

3.3.3 **31 Cornmarket Street** The sub-basement exists below 31 Cornmarket Street and it is accessed by means of the staircase on the south side. It reaches the sub-basement in its south-west corner. This area is rectangular in plan, orientated east to west, and widens slightly towards the east end (Figure 15). The ceiling is supported on five substantial brick pillars, painted white, and the walls are also of brick painted white but are largely covered with panels of plywood (Plate 5). In the east wall is a goods lift and in the concreted floor, on the north side is the opening to a water course under the floor (Plate 6). This is a large rectangular opening fitted with a metal checker plate panel.

3.3.4 The ceiling is heavily plastered between north to south running rolled steel joists and there are large windows creating lights from the basement above. The windows comprise glass tiles in metal frames and are likely to date to the 1929 expansion of Boswells (Plate 7). The stairway in the corner is a modern timber and plywood structure that is likely to replace an earlier staircase. At the threshold of the stairs, at basement level, there is an area of parquet flooring that is likely to date to 1929 (Plate 8).

The Basement (Figure 16)

3.3.5 **31 Cornmarket Street** The basement is reached by means of the shop stairway on the south side of 31 Cornmarket Street, the shop stairway in the centre of 1 to 5 Broad Street, and a stairway to the east from the goods entrance to the store from Broad Street.

3.3.6 The basement of the Cornmarket Street side was entirely in use as a shop floor. At the time of survey, the walls were covered over with shop fronts and shelving and the floor was covered with a laminate wood surface (Plate 9). Covering the ceiling

were ceiling tiles with lighting panels. In the east wall was the good lift that was observed in the sub-basement and double doors to a storage room beyond. Where shop front panels had been removed, older panels existed behind them. Where walls were seen, they were rough red and yellow brick walls, plastered with a pinkish plaster and painted pale blue (Plate 10). The staircase that rises southwards on the south side, before turning east and then north to the ground floor, appears to be a modern insertion, contemporary with the laminate flooring. Aesthetically, it is late 20th-century in appearance, perhaps dating to the 1980s or 1990s.

- 3.3.7 A storage room at the west end of the Cornmarket Street basement is divided from the rest of the floor by a breeze block wall but the older brick work and a partial vault can be viewed here (Plate 11). This part of the building is likely to date to the 1912 rebuild but may be older.
- 3.3.8 1 to 5 Broad Street** The west side of 1 to 5 Broad Street is a shop floor and the east side is largely subdivided into storage and industrial work spaces. On the north side of this are the two shop units, Nos. 4 & 5, accessed through their entrances on Broad Street.
- 3.3.9 Like the Cornmarket side, the walls of the Broad Street shop floor are covered with modern shop fronts, on which could be attached adjustable shelving. The floor has laminate wood covering and the ceiling is covered with ceiling tiles in which are lighting panels. A large, timber staircase rises on the east side of shop floor, rising eastwards and turning south to the ground floor (Plate 12). This is the primary means of access between all levels of 1 to 5 Broad Street, and rising in its central stairwell is a passenger lift.
- 3.3.10 Features of historic interest were observed on the west side of the shop floor where two small staff WCs are subdivided from the rest of the floor. The joinery of the doorways suggest that the subdivisions date to the early 20th-century (Plate 13). In the south WC is a small, iron-framed, four-light casement window in the south- west facing wall (Plate 14). This is characteristic of early 20th-century fenestration. The patterned lino on the floor has the appearance of being 1960s or 1970s in date (Plate 15). Both areas have round light switches which are characteristic of the early to mid 20th century. This area is likely to be original to the 1929 expansion of the store, at least in plan.
- 3.3.11 Between the partition wall of the north side of the shop floor and the red brick wall of the building is a cavity measuring c.1.5m wide. This is divided into three parts by the large structural pillars supporting the ground floor (Plate 16). The side walls of these spaces are painted pale yellow, orange and royal blue, suggesting they may once have been part of the shop floor. They support the glass tile floor of the threshold of the store.
- 3.3.12 Through glazed, double doors on the east side of the shop floor, the non-public areas of the basement can be reached. These are arranged around a central lightwell with an exterior stairway that provides access to all levels on the south side (Plate 17). The subdivided spaces around the lightwell are made up of plant rooms, store rooms, areas for sorting and distribution, and an office (Plates 18 & 19). The area is very much industrial in character with floors, and ceiling of concrete but the brick built

walls and occasional iron framed window suggest the arrangement is mostly, if not entirely, original to the 1929 building (Plate 20). There is some evidence of alteration, such as openings blocked with breeze blocks (Plate 21), and exposed brickwork where a staircase was removed (Plate 22), indicating a change in the use of spaces or distribution of people and goods over time.

- 3.3.13 The area has largely been fitted with modern doors and other fittings but in places, original fittings and joinery can be observed. A small WC on the north side of the lightwell has an original eight-pane casement window with its original stay. The door is a simple batten door with an iron lock box and brass knob (Plate 23). A small staff kitchenette at the north-west corner of the lightwell (accessed from a large store room on the interior) retains a moulded architrave, likely to be original to the building (Plate 24). This room also features original coat hooks and an eight-pane, iron-framed casement window.

The Ground Floor (Figure 17)

- 3.3.14 31 Cornmarket Street** The ground floor of the Cornmarket Street element of Boswells is entered through the store entrance on the west side (Plate 25) and is open to the Broad Street element through openings at its east end and north-east corner (Plate 26). These openings are divided by the goods lift that was observed in the sub-basement and the basement, and shelving. At the time of survey, the walls were entirely covered with modern shop front and shelving. The ceiling was of ceiling tiles with lighting panels and there was linoleum and carpeting on the floor. The stairway on the south side had a timber and glass panel balustrade that appeared to be more modern in appearance than that from the basement and may be 21st century in date.
- 3.3.15 On a return visit during the watching brief, much of the shop front had been stripped away, revealing the walls and some windows, as well as the original architectural detailing of the ceiling. Like the exposed walls in the sub-basement, the exposed walls on the ground floor are built with red brick and occasional yellow bricks, laid in an English bond (Plate 27). Broad, vertical rolled steels joists punctuate the wall, dividing them into wide panels. On the south wall is an area of brickwork that is painted white and a narrow, vertical timber panel that is painted pale pink (Plate 28). Towards the top of this is a patch of white, embossed wall paper, the pattern of which resembles tiling.
- 3.3.16 Along the south wall, to the east of the staircase, are four exposed windows (Plate 29). They are broad, casement windows with four lights and heavy timber frames painted beige. The lights are leaded with yellow, Minster textured glass. The two lower lights have thin margin panes with darker Minster glass. Across each light is a thin metal bar, likely to be a security measure. The west window has a deeper set frame, and has a timber panel with three round, black switches fitted to the west jamb (Plates 30 & 31). The westernmost window has plain frosted glass that may be replacement panes. The two central windows are fitted into what may be blocked openings that predate the 1929 store. That on the left is a large rectangular recess and that on the right is a segmental arch.

- 3.3.17 Exposed in the south wall of the stairway are large windows that would have once illuminated the stairs. These are leaded, multi-pane windows with Minster glass and Art Nouveau style stained glass at the borders (Plate 32).
- 3.3.18 Many of the suspended ceiling tiles had been removed at the time of the return visit and the decorative architectural detailing to the 1929 ceiling could be viewed. Stucco work was applied to principal ceiling joist with 'egg and dart' and 'ribbon and reed' mouldings (Plate 33). The panels of ceiling between the principal joists have interior borders of stucco with 'ribbon and reed' mouldings. Towards the centre of the ground floor ceiling is a round sky light with decorative Art Nouveau style stained glass (Plate 34). Around the light is a circle of Stucco acanthus leaves. To the immediate north of the skylight is a larger rectangular opening that may once have been a skylight but is now blocked (Plate 35). One panel of glass tiles remains. The interior of the opening has moulded, recessed panels in the timber. The ceiling around the openings and the stuccowork is painted a pale, rose pink colour.
- 3.3.19 **1 to 5 Broad Street** The ground floor of the Broad Street element of Boswells was the principal entrance and shop floor of the store. At the time of survey, the walls were entirely covered with shop fronts and the floor space was filled with timber and glass free-standing shelving. On the south side was a large, L-shaped counter (Plate 36). Inside the glazed entrance on the north side of the floor, in the north-west corner, is a large modern stairway with a glazed balustrade (Plate 37). On the east side of the floor, to the south of the counter, is a timber stairway that rises west to east and turns south to the first floor (Plate 38). This stairway gives public access to both the basement and the first floor, and gives staff access to all seven floors. Rising in its central stairwell is a passenger lift. The ground floor has carpeting with areas of laminate wood, and winding through the displays is a wide pathway of linoleum leading to other parts of the store. The ceiling is suspended with ceiling tiles and lighting panels, and running north to south across the centre is a recessed, shallow vault-like feature from which hang ceiling lamps.
- 3.3.20 After the soft strip of the area, some features of the 1929 store were revealed. Over a passage on the east side is a leaded, multi-pane window with frosted glass (Plate 39). This has a wooden frame flanked with moulded panels, which are in poor condition. On the west side of the ground floor are two large, multi-pane, Crittall windows with central, swivel lights (Plate 40). On the floor inside the entrance on the north side are areas of glass tiles that may once have illuminated the shop floor of the basement below (Plate 41). These are the same as those in the ceiling of the sub-basement and the opening in the ceiling of the ground floor on the Cornmarket side, and likely date to 1929. In the north-west corner, under the stairs, is a brown terrazzo floor surface with a black border that suggests it may once have been the threshold of a doorway (Plate 42).
- 3.3.21 The rear of the ground floor of the Broad Street side is a pharmacy area. The rear of the Cornmarket Street element opens into the pharmacy and it forms the south-east corner of the overall shop floor (Plate 43). The interior of the pharmacy was completely modern at the time of the survey (Plate 44) but retained within the shop, in a small store room in the back, were the old gold and silver weights and measures

used for the apothecary system to mix and dispense drugs (Plates 45 – 48). It is likely that these originated in the 19th-century drug store.

- 3.3.22 Between the counter and timber staircase on the main shop floor is a wide corridor that leads to the open lightwell at the back of the shop (Plate 49). The rear walls of the retail units, nos. 4 and 5 Broad Street, back onto the lightwell. A double doorway in the south wall leads to the storage and office areas behind the pharmacy. A doorway in the north-east corner of the stairwell leads to the passage from Broad Street (Plate 50) and doors on the east side open into the alleyway that runs along the east side of the building where the bastion of Oxford City Walls can be viewed (Plate 51). Over the doorway into the passage from Broad Street is a window, which is now covered over on the exterior. It has two central panes of Minster glass, side by side, with narrow margin lights and thin timber glazing bars (Plate 52). This could date from the 1929 store but could plausibly date from anytime up until the 1960s.

The First Floor (Figure 18)

- 3.3.23 **31 Cornmarket Street** The first floor of the Cornmarket Street element of Boswells is reached by means of the stairway on the south side, and from the south end of the first floor of the Broad Street element. During the initial survey, the walls of this area were entirely covered with modern shop fronts (Plates 53 & 54) but on a return visit, the 1929 shop floor was revealed. Illuminating the stairway is a large, six-light, casement window with multiple frosted panes and a border of Art Nouveau style stained glass (Plate 55). To the east of the stairway are two large, six-light casement windows with leaded panes of Minster glass (Plate 56). Like those on the floor below, the lower lights have a border of smaller margin panes. Below the right-hand window is timber panelling painted white.
- 3.3.24 At this level on the north side, the wall is formed around an exterior lightwell (the L-shaped lightwell around the rear of the building occupied by Waterstones). Along the north wall are four large windows, illuminated by the lightwell (Plate 57). These are casement windows with six lights, each with leaded panes of clear glass. Between the windows are pilasters with narrow, vertical mirrors, likely to date to the 1929 shop. Running from the pilasters to the south wall are ceiling beams encased in moulded panelling, around which are cornices. Like the ground floor below, the walls are painted a pale, rose pink but the ceiling here is painted white. Where the brickwork of the walls is seen, it is made up of dull orange red bricks, laid in a stretcher bond with a cementitious mortar.
- 3.3.25 Some architectural detailing dating to the original 1912 Cornmarket Street store was observed on this floor. The staircase from the first to the second floor has an elegant balustrade of turned timber balusters, of a style that predates the 1929 store (Plate 58). The newel posts have ornate recessed panels and ball caps. The treads are likely to be original but are now covered with modern carpeting. In the window opening on the west side of the floor, some corncicing that is likely to be original to the 1912 shop was seen extending from behind the modern shop fronts (Plate 59).
- 3.3.26 **1 to 5 Broad Street** The first floor of the Broad Street element of Boswells is reached by means of the glazed stairway in the north-west corner and the large timber stairway on the east side with the lift in its central stairwell, as well as from the east

rear of the Cornmarket side. The floor here is L-shaped in plan, the area to the north of the lightwell over nos. 4 and 5 Broad Street being made up of the language school. The area of Boswells that fronts Broad Street was used as a tea room until its closure in 2020. At the time of survey, it was being used as a storage space (Plate 60). The shop floor extends behind the east rear end of the Cornmarket Street side, forming two separate display areas with modern shop fronts, lino floor covering and suspended tile ceilings with lighting panels (Plates 61 - 63). Double doors on the east side lead to a small passage, the north end of which opens into the exterior stairway of the lightwell.

- 3.3.27 This area was surveyed before the shop fronts were stripped out so exposed historic features were limited. In the north wall, overlooking Broad Street, were the original, iron-frame, multi-pane windows of the 1929 store (Plates 64 & 65). It is also interesting to note that where panels of shop front have been removed from walls and from a pillar, the paint to the walls underneath is gold, representing a previous phase in the colour scheme of the store (Plates 66 & 67).

The Second Floor (Figure 19)

- 3.3.28 **31 Cornmarket Street** The second floor of the Cornmarket Street element of Boswells is reached by means of the timber stairway from the first floor on the south side. It is made up of offices and staff areas and as such is more functional in character as well as being subdivided into many small rooms. The stairway opens onto a landing (Plate 68) at the west end of a corridor that runs along the wall of south side of the L-shaped lightwell on the exterior (Plate 69). A passage on the west side of the landing leads to two offices. This area has been altered in the 20th century with modern doors and utilities but the 1912 building is still very much apparent in the form of moulded architraves and cornicing (Plates 70 & 71), and fireplace in the north wall with its original, plain timber surround and iron interior (Plate 72). The staircase between the offices that leads to the third floor also retains its original timber balustrade with turned newel posts featuring ball caps (Plate 70).
- 3.3.29 The corridor running eastwards from the landing has two large, sixteen-light casement windows in its north wall, overlooking the L-shaped stairwell. Extending from the ceiling are exposed principal rafters with moulded arched timbers bolted to their undersides (Plate 73). On the south side of the corridor are modern doorways into two offices, the walls of which are likely to be modern insertions. The principal rafters as well as the tie-beams of the trusses are also visible in these offices and the four-light casement windows are the same in character as those found in the south wall of the shop floors below (Plates 74 & 75). The east end of the second floor of the Cornmarket Street side is divided into a locker room on the north side (Plate 76), and a staff rest area on the south side (Plate 77). The trusses can be seen in these rooms also, as well as the 1929 window in the staff room on the south side. These have the same heavy timber casement frames and leaded lights with Minster glass as the windows in the south walls on the floors below. In the north-east corner of the second floor is a small kitchen with a modern UPVC window that overlooks the L-shaped lightwell, and a door in the north wall that leads to the Broad Street element of Boswells (Plate 78). Between this kitchen and the staff room is a small stairwell

with a staircase that appears to be original to the 1912 building that leads to the third floor (Plate 79).

- 3.3.30 **1 to 5 Broad Street** The second floor of the Broad Street element of Boswells exists on the south side of the lightwell, the part fronting Broad Street on the north side being made up of the language school. It is reached by means of the large timber staircase from the shop floor on the first floor and the lift in its central stairwell, the exterior stairway of the lightwell, and from the east rear of the Cornmarket element of the store. It is largely made up of offices but the stairway opens onto a small shop floor (Plate 80) and on the west side is a lobby with doorways to customer toilets (Plate 81). A doorway in the south wall of this lobby leads to the staff kitchen in the rear of the second floor of the Cornmarket Street element. These areas are entirely modern in character with laminate wood flooring, suspended ceiling tiles with lighting panels and modern fire doors. The walls of the shop floor are covered with shop fronts for adjustable shelving.
- 3.3.31 Two doorways on the south side of the shop floor lead to modern, subdivided offices and small storage spaces. Like the public areas of the second floor, this are fitted with laminate wood flooring and carpeting, suspended ceiling tiles with lighting panels and modern fire doors (Plate 82). The east wall of the office on the east side is largely glazed with modern aluminium windows which overlook the alleyway on the east side and the bastion of Oxford's medieval city walls (Plate 83).

The Third Floor (Figure 20)

- 3.3.32 **31 Cornmarket Street** The third floor of the Cornmarket Street element is in two parts; an area at the west end of the building and an area on the east end of the building, which are separate from each other. That at the west end is reached by the stairway from the office area at the west end of the second floor. The staircase has all the appearance of being original to the 1912 building featuring plain, timber balusters and turned newel posts with ball caps (Plate 84). This opens onto a landing on the second floor with two doorways in each of the east and west walls. The moulded architraves of these doors suggest that they are part of the original architectural arrangement but one of the two doorways in the west wall is now blocked (Plate 85). One of the doorways in the east wall retains what appears to be its original, plain, four-panel door (Plate 86). Through the door on the west side is a small modern office. Original features that remain are the narrow, moulded architrave of the doorway, the plain, timber skirting board and the plain timber mantle over the now blocked fireplace (Plate 87). The window opening overlooking Cornmarket Street in the west wall has a modern replacement window.
- 3.3.33 The area on the east side of the landing has been subdivided into a small, modern WC block. The two casement windows in the east wall have modern windows but retain their original moulded, timber frames. The panelled divisions of the stalls appear to be mid-20th century in date (Plate 88).
- 3.3.34 The east area of the third floor of the Cornmarket Street element of Boswells is reached by means of the narrow staircase at the east end of the second floor. This staircase appears to be the same phase and character as that from the first to the second floor and that in the west end of the second and third floors, but it has plain

balusters and plain newel posts with ball caps, suggesting a lower status, more utilitarian area (Plate 89). It opens onto a large landing, the east side of which features the highest dispatch point of the goods lift observed throughout all floors from the sub-basement (Plate 90). The area has plain floorboards and brick walls painted white, and over the stairway in the east wall is a large segmental supporting arch. Built against this are timber shelving units that are mid-20th century in character. A modern fire door on the north side leads to the third floor of the later Broad Street side of Boswells and a doorway in the west walls leads to an attic space. This doorway is flanked by two modern windows that overlook the roof between the east and west ends of the third floor. The doorway into the attic features what appears to be an original plain, four-panel door (Plate 91). The attic space has timber work surfaces built along its north side (Plate 92). The timber framing is early 20th century in character with machine cut timbers and bolted iron traps. The floor is boarded and the narrow joisted ceiling that runs under the ridge piece suggests it was built as a work space that people could walk into.

- 3.3.35 **1 to 5 Broad Street** The third floor of the Broad Street element of Boswells exists on the south side of the large exterior lightwell, the north part being the language school facing onto Broad Street. As well as being accessed through the east end of the Cornmarket Street element of Boswells, the third floor of the Broad Street element is accessed by means of the large timber staircase and the lift in its central stairwell. It is made up of two large rooms, north and south. The north room, that which is entered from the stairway and the Cornmarket Street side is a large open space running east to west (Plate 93). It retains its original boarded floor and the windows in the north wall, overlooking the lightwell, are original, iron-frame Crittall windows with Minster glass panes (Plate 94). The windows in the south and west walls are all modern and the room features a modern, suspended, tile ceiling with lighting panels. It appears to have been used as an office or a workshop (Plate 95).
- 3.3.36 In the south wall is a doorway that leads to the south room. This is a large open area and it also retains its original boarded floor. Running east to west across the ceiling is a substantial, structural ceiling beam (Plate 96). This is approximately 45cm by 40cm in dimensions. Across the south wall are three window openings with modern, two-light windows and across the ceiling is modern strip lighting.

The Fourth Floor (Figure 21)

- 3.3.37 **1 to 5 Broad Street** The fourth floor largely exists over the Broad Street element of Boswells to the south of the central lightwell, the north side being occupied by the language school. From here, there is access to a small room over the east end of 31 Cornmarket Street, which represents its fourth floor.
- 3.3.38 The fourth floor is entered from the large timber staircase and the lift that rises in its central stairwell throughout the five levels from the basement (Plate 97). It covers the footprint of the north room of the floor below and is similar in character. It retains its original boarded floor (Plate 98) and in the north wall, to the east of the stair access, are two original, iron-frame, Crittall windows with Minster glass (Plate 99). In the north wall is a vertical timber panel with three round light switches (Plate 100). This are the same as those seen in the window opening in the south wall of the

Cornmarket Street on the ground floor. Here they are painted gold. Along the north wall is what appears to be the original black skirting board. The space otherwise has modern aluminium windows and modern, suspended ceiling tiles with lighting panels. The opening to the stairway and the lift are uncased with modern partitions and double fire doors. The area appears to have been used for storage and workshop purposes for cleaning and maintenance of the store.

3.3.39 The east end of this space is sub divided into two small offices and short corridor to the double doors that provide access to the central stairwell (Plates 101 & 102). This area is modern in character and in the south-east corner is a modern goods lift.

3.3.40 **31 Cornmarket Street** A doorway that is not full height and has a mid-20th century hollow-core door in the south-west corner of the floor provides access to a room over the east end of 31 Cornmarket Street. This room stands in isolation over the rest of the 1912 build and can be seen in the 1914 photograph of the corner of Broad Street before the 1929 build abutted its north wall (Figure 8). The room has a flat roof and a high ceiling with enough space to provide a storage and work area (Plate 103). It has a boarded floor and a hatch in the ceiling. In the west wall is a window opening with a modern, aluminium window, the same as those throughout the third and fourth floors of the Broad Street side. Against the east wall are walls that resemble a chimney breast with a large opening but is in fact the top of the shaft that encases the goods lift from the sub-basement.

3.4 Separate retail units at Nos. 4 & 5 Broad Street

No. 4 Broad Street (Figures 16 & 17)

3.4.1 No. 4 Broad Street, previously a newsagent, is entered from Broad Street at ground floor level through the modern, glazed shop front to the left of Boswells' entrance (Plate 104). At the time of survey, the shop had been stripped but the modern floor lino and suspended ceiling tiles with lighting panels remained. A doorway through a modern partition in the south wall leads to a narrow stairway to the basement. A window opening that is blocked and has wire mesh over it backs onto the central lightwell of Boswells and may once have illuminated the stairwell (Plate 105). The stairs descend west to east and the timber treads may be late 19th-century or early 20th-century in date (Plate 106).

3.4.2 The basement is painted in bright orange and yellow and has modern floor tiles and strip lighting (Plate 107). Along the north and south walls are modern shelving and work surfaces. A small storage space along the north wall is roofed with glass tiles, creating a skylight (Plate 108). This is the surface of Broad Street on the exterior and similar glass tiles are seen through the basement and ground floor of Boswells. The glass tiles here may be contemporary with the 1929 store. In the east wall of this space is a safe that appears to be 19th-century in date (Plate 109).

No. 5 Broad Street (Figures 16 & 17)

3.4.3 No. 5 Broad Street, previously a fudge shop, is entered from Broad Street at ground floor level through its modern glazed shop front. It has a decorative dado rail, that is probably modern and a floor covering of lino (Plate 110). Behind a modern sink unit in the south-east corner is the decorative balustrade of the stairway to the

basement. Both this, and the dado rail of the stairway on the south side, appear to be 19th century or early 20th century in date (Plate 111). The stairs descend south to north into the basement and along the treads is an original beaded skirting board.

- 3.4.4 The basement is subdivided with modern partitions into staff and storage areas as well as a WC (Plates 112 & 113).

3.5 Oxford Language School (Boswell House)

Stairway (Figures 17 to 21)

- 3.5.1 Oxford Language School was situated in what is known as Boswell House, 1 – 5 Broad Street, that part of Boswells on the north side of the central lightwell. It is entered through a doorway on Broad Street to the immediate left of the entrance to the department store (Plate 114). This opens into a small lobby area with access to the stairway on the east side. The language school occupies the first to the fourth floors.
- 3.5.2 The stairs rise west to east from the lobby on the ground floor and clockwise around a modern lift shaft. The architectural detailing of the stairway suggests that this arrangement is original to the 1929 building. The stairs have modern steel handrails but around the outer wall is a timber handrail style dado rail (Plate 115). On the south side of stairway, at half landing level, are small rooms that form the north-west corner of the central lightwell of 1 to 5 Broad Street. The doors are modern fire doors but the openings have moulded timber architraves. The four rooms now function as storage and maintenance spaces, and WCs. In the south walls are two small, four-light, iron-frame windows with panes of Minster glass (Plate 116). On the second, third and fourth level half landings, these windows have inner timber frames with a variety of obscured glass panes (Plate 117). Covering the south-west corners of these half landings are north-west facing partition walls with openings for utilities. The timber cover for the opening has six moulded, recessed panels. Where the covers have been taken off the red brick and cementitious mortar of the stairway walls can be observed (Plate 118).

The First Floor

- 3.5.3 The first floor of the language school is accessed through a doorway in the east wall of a landing on the north side of the stairway. It opens into a corridor with offices and meeting rooms along the north and south sides. These sub-divided spaces are largely a modern arrangement with laminate wood flooring, modern fire doors and lighting panels to the ceilings throughout (Plate 119). Some original features of the 1929 building were observed on the first floor, however. A small kitchen and storage space on the east side of the stairway retain small four-pane windows with timber frames and obscured glass like those in the rooms of the half landings (Plate 120). Two large, factory style Crittall windows in the south wall of this floor overlook the central lightwell (Plate 121). These are the same as those seen in the third and fourth floors of Boswells department store, with central, swivel lights. At the east end of the south wall is an opening for double doors into the central lightwell that retains a decorative, moulded architrave (Plate 122).
- 3.5.4 The rooms along the north side of the first floor appear to have been higher in status than the south side originally. The ceilings feature moulded cornicing, which is

abutted by modern partitions in places (Plate 123). The window openings along the south wall of this floor feature the original 1929, iron-frame windows with curled, iron window stays and catches (Plates 124).

The Second Floor

3.5.5 The second floor is accessed through doorways in the east and west walls of a landing on the north side of the stairway. This floor is largely modern in character and has been subdivided into many spaces for office and teaching purposes, and for WCs (Plates 125). The floors feature laminate wood boards and carpet, the modern divisions have fire doors and on the ceiling are lighting panels.

3.5.6 At the time of survey, the only historic features observed were the moulded architrave around the double doors into the central lightwell on the south side (Plate 126), and the original iron-frame windows across the north facing façade of the building (Plate 127). As on the first floor, these original, multi-pane windows retained their curled iron catches and stays (Plate 128). The windows throughout the rest of the floor are UPVC, those in the north wall have a similar arrangement of panes to the original Crittall windows that overlook the central lightwell (Plate 129).

The Third Floor

3.5.7 The third floor is accessed through doorways in the east and west walls of a landing on the north side of the stairway. This floor, like those below, is largely modern in character and has been subdivided into many spaces for office and teaching purposes, as well as for WCs and a small kitchen. The floors feature laminate wood boards and carpet, the modern divisions have fire doors and on the ceiling are lighting panels (Plate 130).

3.5.8 At the time of survey, historic features observed were the moulded architrave around the double doors into the central lightwell on the south side (Plate 131), and the original iron-frame windows across the north facing façade of the building (Plate 132). As on the first floor, these original, multi-pane windows retained their curled iron catches and stays. This floor also retained a number of its original Crittall windows in the north wall, overlooking the central lightwell, and two in the west wall, overlooking the rear of Waterstones (Plates 133 & 134). The windows throughout the rest of the floor are UPVC, but some of these have a similar arrangement of panes to the original Crittall windows.

The Fourth Floor

3.5.9 The fourth floor is accessed through doorways in the east and west walls of an attic landing on the north side of the top of the stairway. This is illuminated by a modern skylight and a short balustrade on the south side appears to be original (Plates 135 & 136). This floor, like those below, is largely modern in character and has been subdivided into many spaces for office and teaching purposes, as well as for a WC and kitchen (Plates 137 & 138). The floors feature laminate wood boards and carpet, the modern divisions have fire doors and large glass panes. On the ceiling are modern lighting panels.

3.5.10 At the time of survey, the only historic features observed was the moulded architrave around the double doors into the central lightwell (Plate 139), and two small timber

frame windows on the south side (Plate 140). The dormer openings in the roof along the north side have modern UPVC windows (Plate 141).

4 SUMMARY AND CONCLUSIONS

- 4.1.1 Prior to its closure in 2020 Boswells was Oxford's oldest department store prominently located between Broad Street and Cornmarket Street. For generations of Oxford residents it was a familiar and instantly recognisable retail institution where children would dwell in the toy department while adults shopped for luggage, cosmetics, bedding or kitchen equipment.
- 4.1.2 The main store, Boswell House, was located at 1-5 Broad Street and it was constructed in 1929 for H Boswell & Co Ltd with a main department store as well as offices and a restaurant above. Boswells had originally been established in 1738 with a shop at No. 50 Cornmarket Street and the company remained in the same family until 1890 when it was purchased by Arthur Pearson. Pearson was a local businessman who had previously operated from No. 31 Cornmarket Street, a site he had acquired in 1882.
- 4.1.3 In c.1912 Pearson rebuilt No.31 Cornmarket to a design by Herbert Quinton of Pike and Messenger, a local architect of some importance who also designed the well-known former Frank Cooper's Marmalade Factory (1902) in Oxford. Pearson's Oxford Drug Company occupied this new building on Cornmarket Street. During the 1920s the company acquired the leases for No.1-4 Broad Street in order to replace them with a new, much larger landmark building for H Boswell & Co Ltd. The new Boswell House was a six-storey building comprising offices, a restaurant, and department store and it was opened in 1929. No. 4-5 Broad street are within the building but form separate retail units.
- 4.1.4 Various changes to the buildings have been undertaken since the opening of the 1929 store including the installation of the central staircase on the Broad Street side in 1949/50, and a new stockroom and office block added to the rear on the east side. It wasn't until 1958 that the Broad Street side and the original Cornmarket Street building were connected to form the L-shaped arrangement that exists today. In 1973, the first and second floors were extended to create more stock room space and in 1989, a dance studio on the fourth floor was converted to office, reflecting the growing business. In 1999, the Broad Street entrance was remodelled and the glazed staircase in the north-west corner was installed to provide direct access to the restaurant.
- 4.1.5 The department store closed in 2020 and the building is now being converted to a hotel. Planning permission was granted for this with a condition requiring an investigation of the building prior to and during its conversion, to produce an archive record. The work documented the store's final character when it closed and it also found evidence of former features relating to its earlier decorative character.
- 4.1.6 The building reflects the change in styles and aesthetics of 20th-century department stores. The décor revealed behind the modern shop fronts on the Cornmarket Street side very much reflects the character of the British High Street at the time. Large windows flooded the shop floors with light, and the soft pink paint, reed and ribbon motifs of the stuccoed ceiling, and Art Nouveau stained glass reflect a store that provided and stylish and pleasant shopping experience. As both the store and

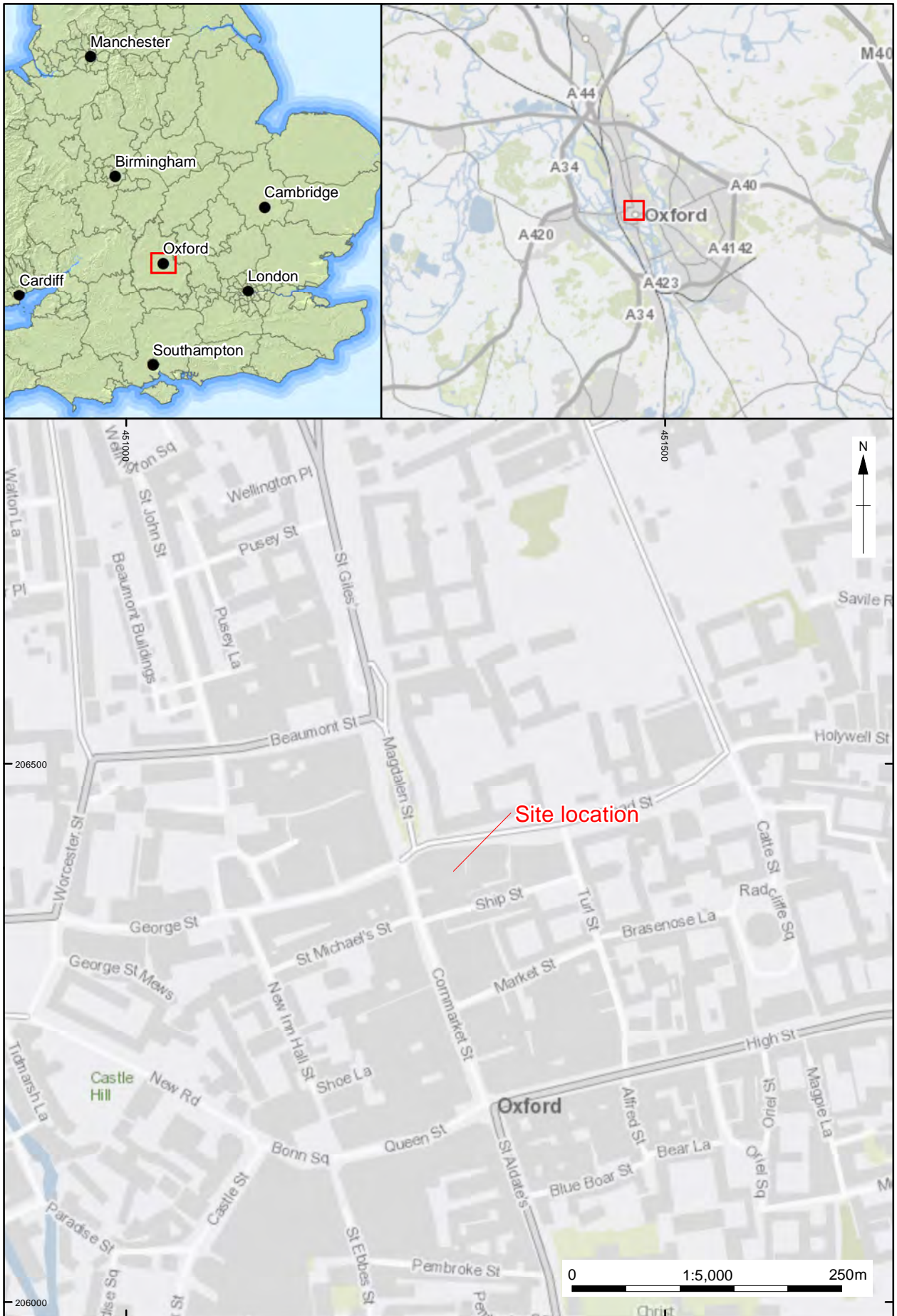
demand for a wider range of stock grew, the windows were covered for more shelf space and the arrangement changed to provide different departments for different needs.

- 4.1.7 Boswells is both a typical example of a 20th-century department store but unique in its age and character, retaining features of past tastes and styles in its vast complex of floors and rooms.

APPENDIX A BIBLIOGRAPHY

1 -5 Broad Street & 31 Cornmarket Street, Oxford; Built Heritage Statement and Townscape & Visual Impact Assessment, RPS Group 2020

Former Boswells Department Store, Broad Street, Oxford; Written Scheme of Investigation, Oxford Archaeology, 2021



O:\O_codes\OXBS5\Figure1_Master.mxd* charles.rousseau*06/05/2022

Figure 1: Site location



Figure 2: Fig. 1 Hoggar Oxford Town Plan (Ref: Bodleian Library (E) C17:70 Oxford (1A))



Figure 4: Fig. 4 1900 Ordnance Survey Map, 1:2,500

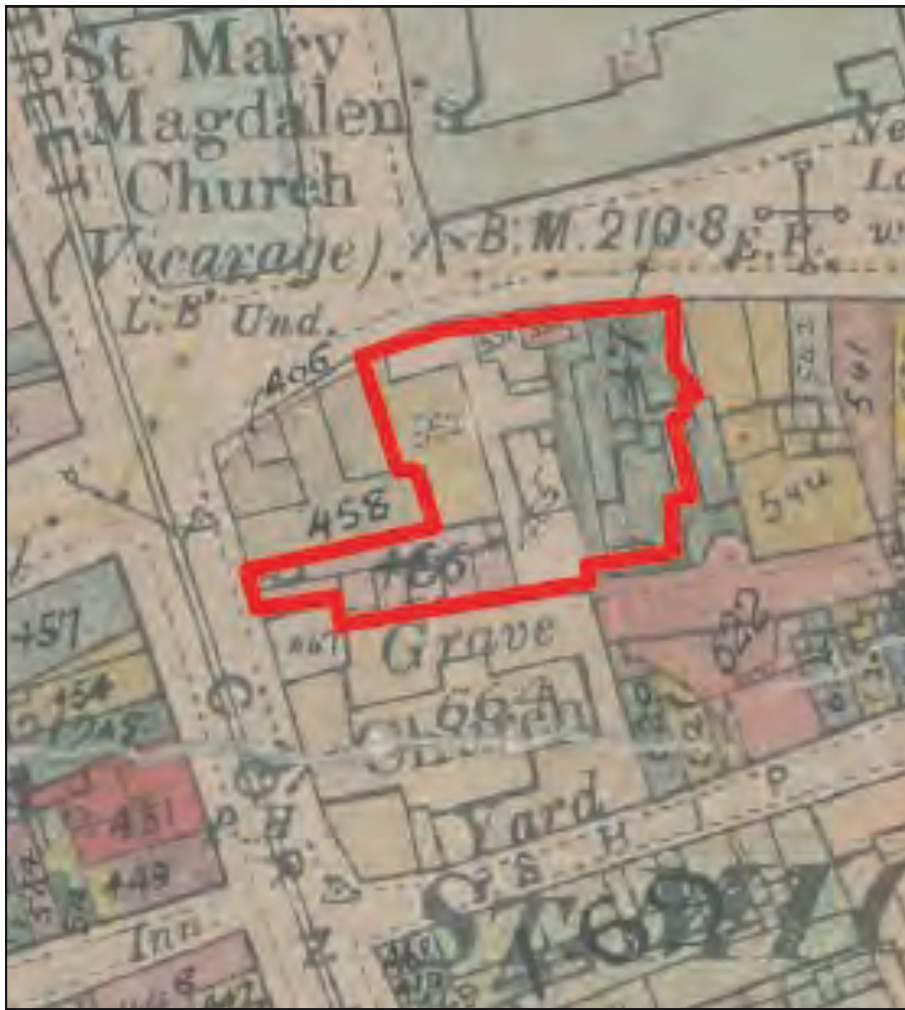


Figure 5: Fig. 5 1910 Valuation Office Survey Map
(ref: Oxfordshire History Centre, DV-IX-13)

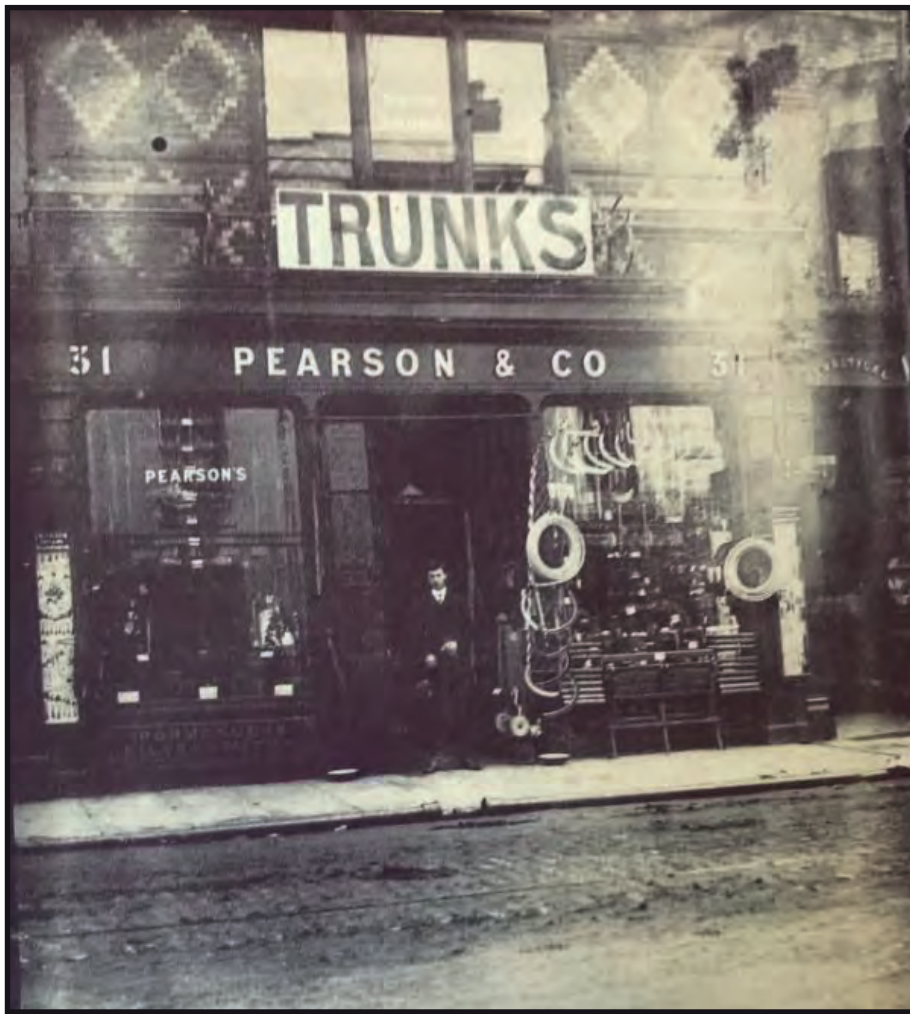


Figure 6: Undated photo of former building at 31 Cornmarket Street prior to demolition (ref: Boswell Family Archive)



Figure 7: Cross-section of proposed replacement building at 31 Cornmarket, 1912 (ref: Boswell Family Archive)



Figure 8: Photo of corner of Broad Street and Cornmarket Street showing replacement building at 31 Cornmarket Street, 1914 (ref: Boswell Family Archive)



Figure 9: 1939 Ordnance Survey Map, 1:2,500



Figure 10: Undated photo c. 1925 showing previous building at 1-5 Broad Street prior to demolition (ref: Boswell Family Archive)

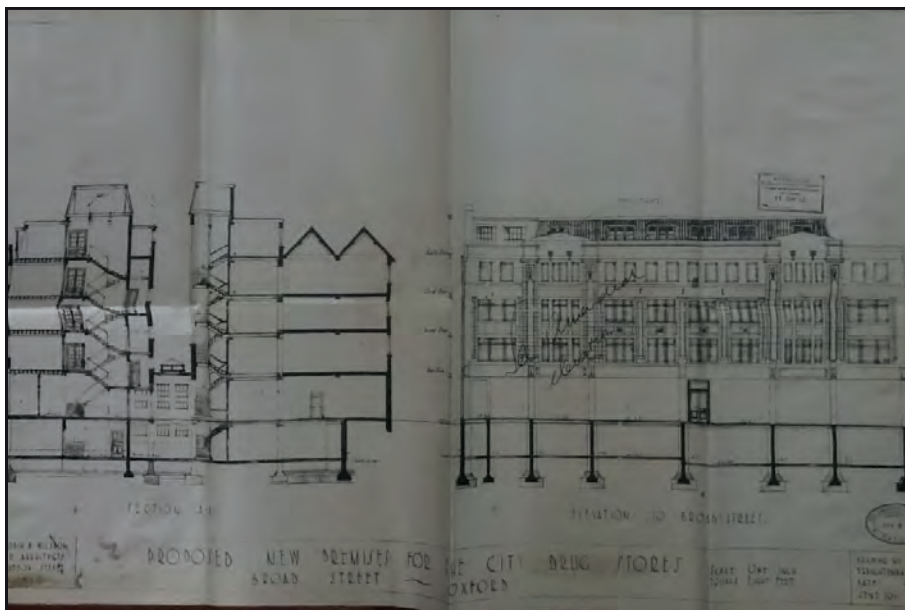


Figure 11: Proposed new premises for the City Drug Stores by North, Robin & Wilsdon, City Engineers Department 1928 (Boswell Family Archive)

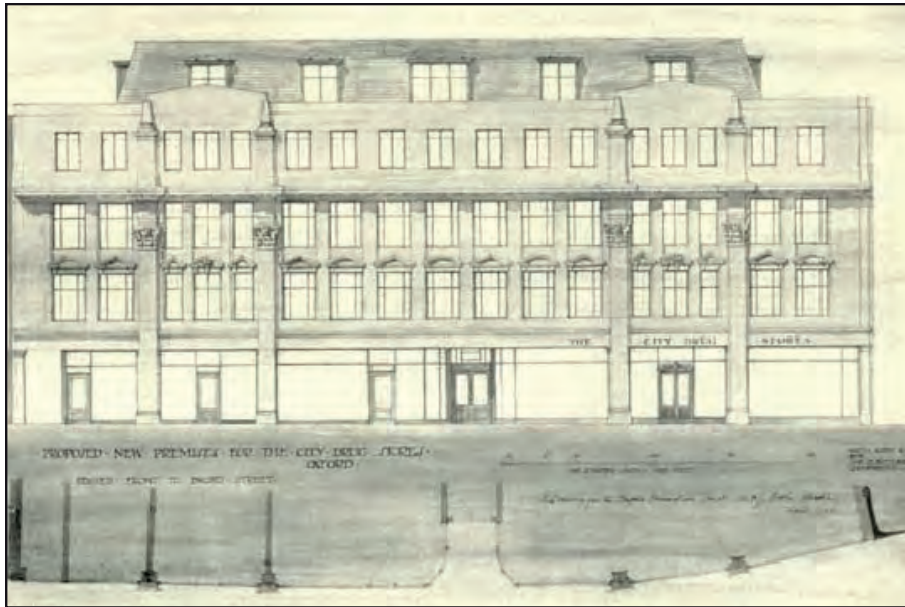
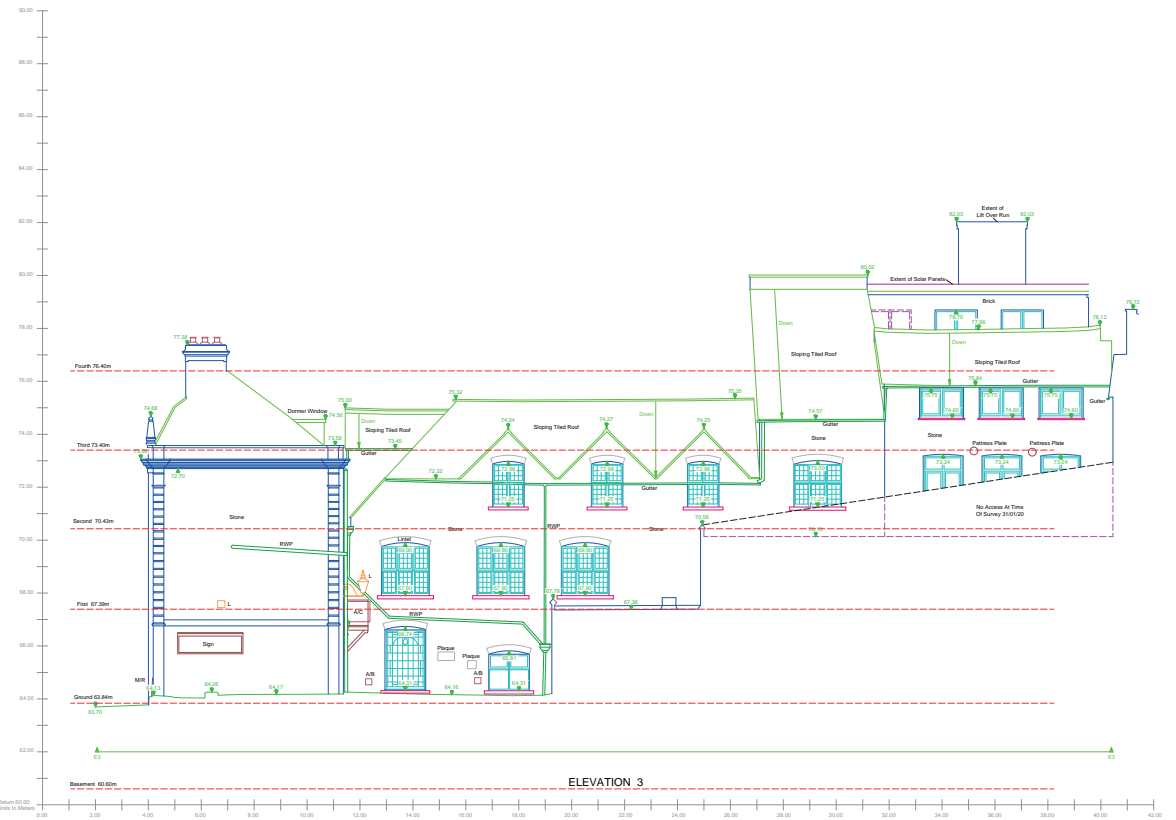


Figure 12: 1927 plans for 'City Drug Stores' produced by A. S. G. Butler on behalf of the Oxford Preservation Trust (ref: no. 1-3: Vacant, part of Boswells House', <http://www.oxfordhistory.org.uk/broad/buildings/south/01,02,03.html>, April 2020)

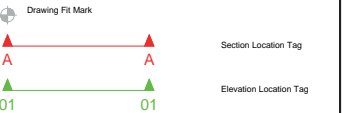


Figure 13: 1992 Ordnance Survey Map, 1:1,250



LEGEND
MBS Linework Features

Beam	Roof
Building Cut	Sanitary
Building Cut Assumed	Service Cable Tray
Building Forward	Service Electric
Ceiling	Service Fine Fighting
Detail	Service HVAC
Detail Assumed	Service Lighting
Detail Hidden	Service Other
Door	Service Pipe
Fixture	Service Plant
Floor	Service Security
Ground	Stairs
Light	Vegetation
Railings	Wall
	Window



MBS Symbols & Features

Stair Break Line	Hand Basin
Stair & Ramp Arrow (Up)	Hand Basin
Arch (Down)	Sink - With Draining Board
F-S 0.00 Floor to Spring Height (Arch)	Toilet With Cistern
F-H 10.00 Floor to Head Height (Arch)	Toilet Without Cistern
Slope Arrow (Down)	Disabled Toilet
Level Symbol (Elevations)	Urinal
10.00 Floor Level (Plans)	Shower Tray
13.00 Overhead Level (Plans)	Window Heights (Plans)
10.00 Overhead Heights (Plans)	Window Heights (Plans)
C-S 0.00 C-S 0.00	Tree
C-H 0.00	

MBS Abbreviations

AB Air Brick	GV Gas Valve
AC Air Conditioning	H Height
AS Alarm / Sign	HR Hand Rail
BCP Break Glass Panel	IC Inspection Chamber
BH Beam Height	L Light
C-H Call to Head Height	MH Man Hole
C-S Call to Spring Height	NA No Access
CCTV Close Circuit Television	OH Overhead
CL Cover Level	Rad Radiator
Col Column	RS Roller Shutter
Conc Concrete Finish	RSJ Rolled Steel Joist
CPS Concrete Paving Slabs	RWP Rain Water Pipe
Cup Cupboard	S Sprinkler
CH Door Height	SC Structural Ceiling
EL Electrical Box	SD Smoke Detector
ER Emergency Light	Spk Speaker
EL Electrical Light	Sty Skylight
ER Earth Rod	SW Switch
F-A Floor to Ceiling Height	V Vent Pipe
F-C Floor to Ceiling Height	V Vent Pipe
FB False Ceiling	V Vent Pipe
FB Flower Bed	V Vent Pipe
FR Fire Resistance	WB Waste Hand Basin
FHR Fire Hose Reel	WM Water Meter
G Gas Meter	WV Water Valve
GP Gas Pipe	WT Water Tank

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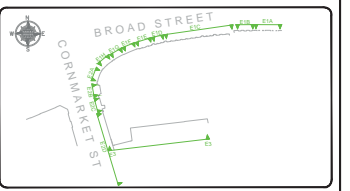
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Revisions

Rev	Description	Surveyed by	Drawn by	Checked by
01	First Issue	HB - 04/02/20	SA/CH - 01/02/20	RE - 07/02/20
02	LR Over Run Added to E1C, E2C and E3	HB - 04/02/20	EE - 10/02/20	RE - 10/02/20
03	Floor Levels Added	HB - 04/02/20	TH - 18/02/20	RE - 18/02/20



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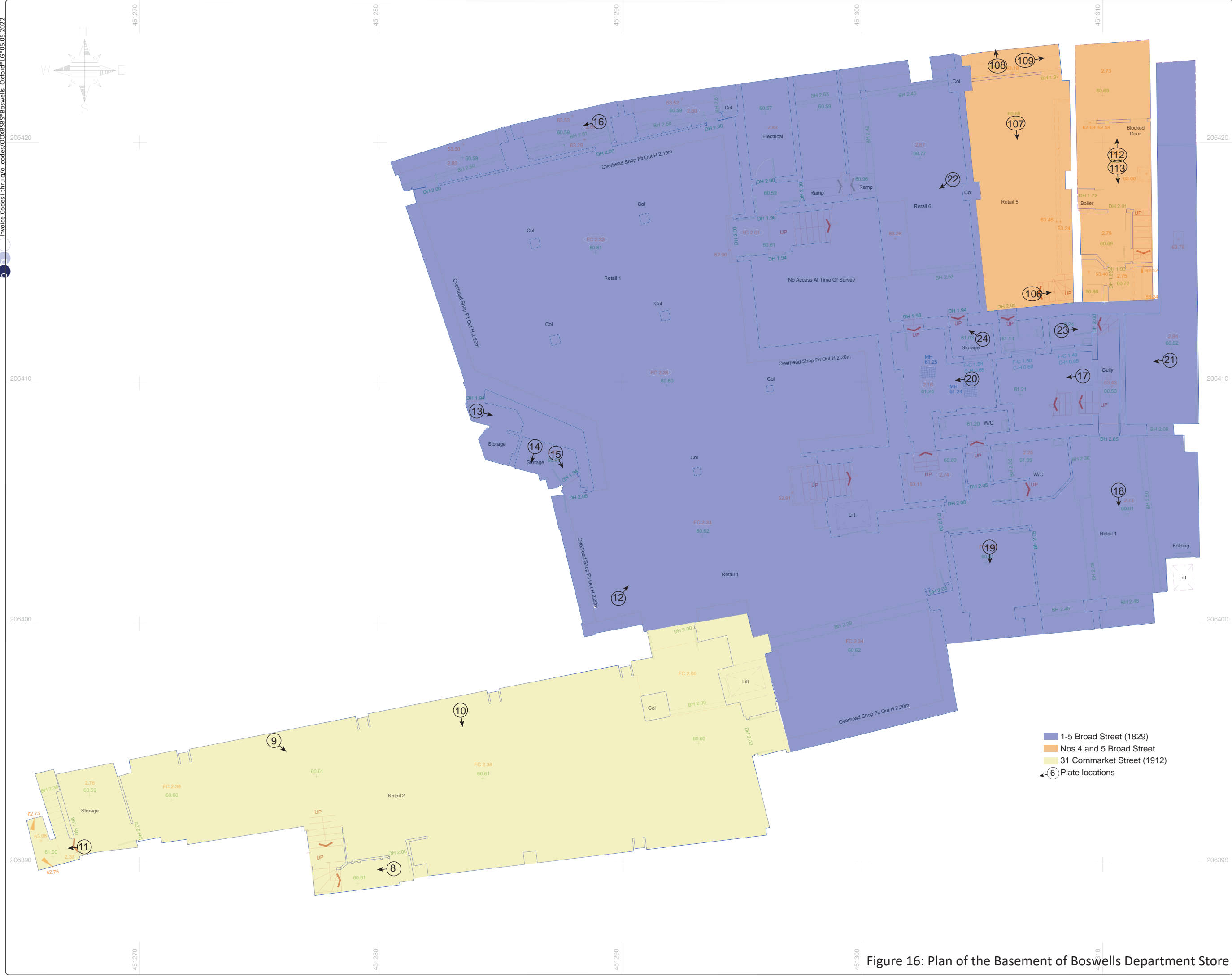
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Client	Cube
Project	Boswells of Oxford
Site Address	31 Cornmarket & 1-5 Broad Street, Oxford, OX1 3AG
Description	Elevations 1, 2 and 3
Survey Grid	Localised OSGB36(15) - Scale Factor 1.0
Survey Datum	GNSS - Ordnance Datum Newlyn (ODN)
Drawing Scale	1:100 @ A0
Drawing Number	MSL34887-E-RevC

Figure 14: Shop front elevations on Broad Street and Cornmarket Street showing the north and west facing elevations, respectively



1-5 Broad Street (1829)
 Nos 4 and 5 Broad Street
 31 Cornmarket Street (1912)
 6 Plate locations

LEGEND

	Beam		Roof
	Building Cut		Sanitary
	Building Cut Assumed		Service Cable Tray
	Building Forward		Service Electric
	Ceiling		Service Fire Fighting
	Cill		Service HVAC
	Detail		Service Lighting
	Detail Assumed		Service Other
	Detail Hidden		Service Pipe
	Door		Service Plant
	Future		Service Security
	Floor		Stairs
	Ground		Vegetation
	Lift		Wall
	Railings		Window

MBS Symbols & Features

	Drawing Fit Mark		Section Location Tag
	Elevation Location Tag		Elevation Location Tag

MBS Abbreviations

AB	Air Brick	GV	Gas Valve
AC	Air Conditioning	HS	Height
AD	Alarm System	HR	Hand Rail
BGP	Break Glass Point	IC	Insulating Chamber
BH	Beam Height	LI	Lift
C-H	Call to Spring Height	MH	Mens Hole
C-S	Call to Spring Height	NA	No Access
CCTV	Closed Circuit Television	OH	Overhead
CL	Level Line	RO	Roller
Col	Column	RS	Roller Shutter
Con	Concrete	RJ	Roller Joint
CPS	Concrete Paving Slabs	RWP	Rain Water Pipe
Cap	Cap	SP	Sprinkler
DH	Door Height	SC	Structural Ceiling
EB	Electrical Box	SD	Smoke Detector
EL	Emergency Light	SK	Skylight
ET	Earth Tool	SP	Speaker
FA	Fire Alarm	SVP	Soil Vent Pipe
F-C	Floor to Ceiling Height	U	Urinal
FC	False Ceiling	UP	Up
FB	Flower Bed	VP	Vent Pipe
FI	Fire Hydrant	WC	Wash Hand Basin
FHR	Fire Hose Reel	WM	Water Meter
G	Gully	WV	Water Valve
GM	Gas Meter	WT	Water Tank
GP	Gas Pipe		

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Revisions

Rev	Description	Surveyed by	Drawn by	Checked by
A	First Issue	HB: 31/01/20	EE: 28/02/20	TMD: 02/03/20
B	Second Issue Ceiling and Beam Heights	HB: 31/01/20	AT: 04/03/20	FB: 04/03/20
C	Additional Overhead Details Shown	HB: 31/01/20	TMD: 18/03/20	FB: 18/03/20

Rev	Description	Surveyed by	Drawn by	Checked by

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Client	Cube
Project	Boswells of Oxford
Site Address	31 Cornmarket & 1-5 Broad Street, Oxford, OX1 3AG
Description	Floor Plan - Basement
Survey Grid	Localised OSGB36(15) - Scale Factor 1.0
Survey Datum	GNSS - Ordnance Datum Newlyn (ODN)
Drawing Scale	1:100 @ A2
Drawing Number	MSL34887-FPB-RevC

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Figure 16: Plan of the Basement of Boswells Department Store



- The Oxford Language School (1929)
- 1-5 Broad Street (1929)
- Nos 4 and 5 Broad Street (1929)
- 31 Cornmarket Street (1912)
- ⬇ Plate locations

LEGEND

MBS Linework Features

- Beam
- Building Cut
- Building Cut Assumed
- Building Forward
- Ceiling
- Clit
- Detail
- Detail Assumed
- Detail Hidden
- Door
- Floor
- Ground
- Lift
- Railings
- Roof
- Sanitary
- Service Cable Tray
- Service Electric
- Service Fire Fighting
- Service HVAC
- Service Lighting
- Service Other
- Service Pipe
- Service Plant
- Service Security
- Stairs
- Vegetation
- Wall
- Window

Drawing Mark

- ▲ Section Location Tag
- ▲ Elevation Location Tag

MBS Symbols & Features

- Star Break Line
- Star & Ramp Arrow (Up)
- Arch (Down)
- F-S 0.00 Floor to Spring Height (Arch)
- F-H 0.00 Floor to Head Height (Arch)
- Slope Arrow (Down)
- Level Symbol (Elevations)
- Floor Level (Plans)
- Overhead Level (Plans)
- Overhead Heights (Plans)
- Window Heights (Plans)
- Tree
- Hand Basin
- Hand Basin
- Sink - With Draining Board
- Toilet With Cistern
- Toilet Without Cistern
- Disabled Toilet
- Urinal
- Shower Tray
- Bath Tub

MBS Abbreviations

AB Air Brick	DV Gas Valve
AC Air Conditioning	HT Height
AL Alarm / Siren	HR Hand Rail
BSP Break Glass Point	I Inspection Chamber
BH Beam Height	L Light
C-H Call to Head Height	MH Manhole
C-S Call to Spring Height	MA Man Access
CCTV Closed Circuit Television	OH Overhead
CL Corner Level	OR Overhead
Col Column	RS Roller Shutter
Con Concrete Finish	RS Rolled Steel Joist
CPS Concrete Paving Slabs	RWP Rain Water Pipe
Cup Cupboard	S Sprinkler
DH Door Height	SD Structural Ceiling
Elbow	SD Smoke Detector
EL Emergency Light	SK Skylight
ER Earth Road	SK Skelink
FA Fire Alarm	SVP Soil Vent Pipe
F-C Floor to Ceiling Height	U Urinal
FC False Ceiling	V Vent
FB Floor Bed	VP Vented Pipe
FH Fire Hydrant	WC Toilet
FHR Fire Hose Reel	WB Wash Hand Basin
G Gas	WM Water Meter
GM Gas Meter	WV Water Valve
GP Gas Pipe	WT Water Tank

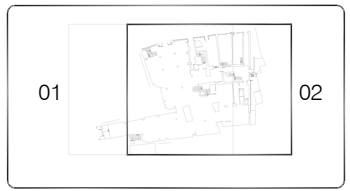
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Revisions			
Rev	Description	Drawn by	Checked by
A	First Issue	HB - 31/01/20	EE - 28/02/20
B	Second Issue - Ceiling and Beam Heights	HB - 31/01/20	AT - 03/03/20
C	Additional Survey Details	HB - 31/01/20	TMD - 17/03/20



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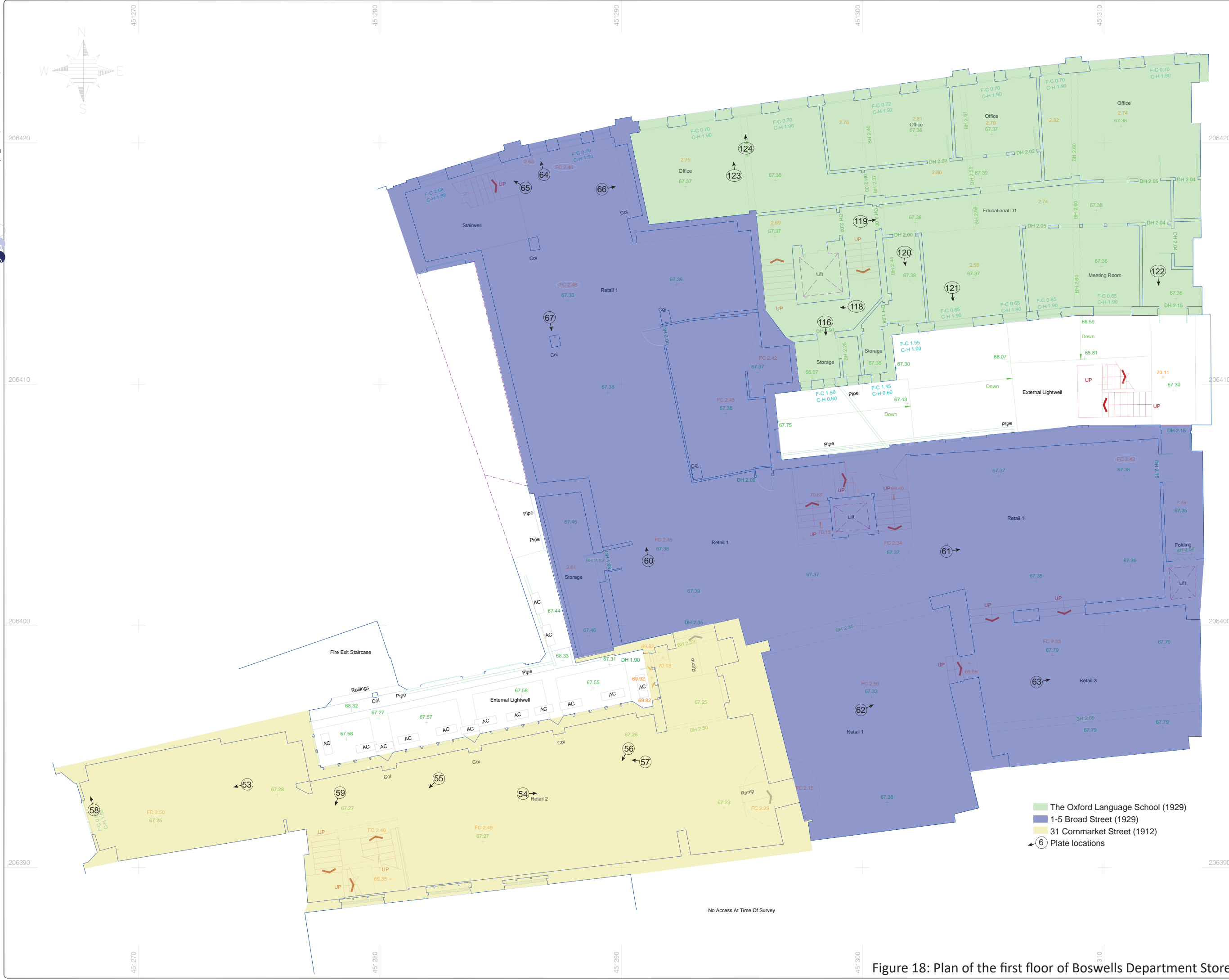
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RICS
The Survey

Client	Cube
Project	Boswells of Oxford
Site Address	31 Cornmarket & 1-5 Broad Street, Oxford, OX1 3AG
Description	Floor Plan - Ground Floor
Survey Grid	Localised OSGB36(15) - Scale Factor 1.0
Survey Datum	GNSS - Ordnance Datum Newlyn (ODN)
Drawing Scale	1:100 @ A2
Drawing Number	MSL34887-FPG-02-RevC

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Figure 17: Plan of the ground floor of Boswells Department Store



■ The Oxford Language School (1929)
■ 1-5 Broad Street (1929)
■ 31 Commarket Street (1912)
6 Plate locations

LEGEND

MBS Linework Features	
Beam	Roof
Building Cut	Sanitary
Building Cut Assumed	Service Cable Tray
Building Forward	Service Electric
Ceiling	Service Fire Fighting
Cl	Service HVAC
Detail	Service Lighting
Detail Assumed	Service Other
Detail Hidden	Service Pipe
Door	Service Plant
Fixture	Service Security
Floor	Stairs
Ground	Vegetation
Lift	Wall
Railings	Window

MBS Symbols & Features

Stair Break Line	Hand Basin
Stair & Ramp Arrow (Up)	Hand Basin
Arch (Down)	Sink - With Draining Board
F-S 0.00	Toilet With Cistern
F-H 0.00	Toilet Without Cistern
Slope Arrow (Down)	Disabled Toilet
Level Symbol (Elevations)	Urinal
Floor Level (Plans)	Shower Tray
Overhead Level (Plans)	Bath Tub
Overhead Heights (Plans)	
Window Heights (Plans)	
Tree	

MBS Abbreviations

AB	Air Brick	GV	Gas Valve
AC	Air Conditioning	H	Height
AS	Alarm / Siren	HR	Hand Rail
BB	Break Glass Point	IC	Inspiration Chamber
BH	Beam Height	L	Light
C-H	Cl to Head Height	M	Man Hole
C-S	Cl to Spring Height	NA	No Access
CC	Circuit Termination	OH	Overhead
CL	Cover Level	RF	Radiator
Col	Column	RS	Roller Shutter
Con	Concrete	RS	Roller Shut. Joint
CPS	Concrete Paving Slabs	RWP	Rain Water Pipe
Cap	Capboard	S	Sprinkler
DH	Door Height	SC	Structural Ceiling
Elev	Electrical Base	SD	Smoke Detector
EL	Emergency Light	Sky	Skylight
ER	Earth Road	Ssk	Skewer
FA	Fire Alarm	SVP	Soil Vent Pipe
F-C	Floor or Cl Height	UI	Urinal
FC	Floor Ceiling	V	Vent Pipe
FB	Flow Bed	VP	Vent Pipe
PH	Fire Hydrant	WC	Toilet
PH	Fire Hydrant	WHP	Wash Hand Basin
GM	Gas Meter	WM	Water Meter
GP	Gas Pipe	WV	Water Valve
		WT	Water Tank

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Revisions

Rev	Description	Surveyed by	Drawn by	Checked by
A	First Issue	HB - 31/01/20	EE - 28/05/20	TMD - 02/03/20
B	Second Issue-Ceiling and Beam Heights	HB - 31/01/20	AT - 05/03/20	RB - 05/03/20
C	Additional Survey Details	HB - 31/01/20	TMD - 18/03/20	RB - 18/03/20

Revisions

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Revisions

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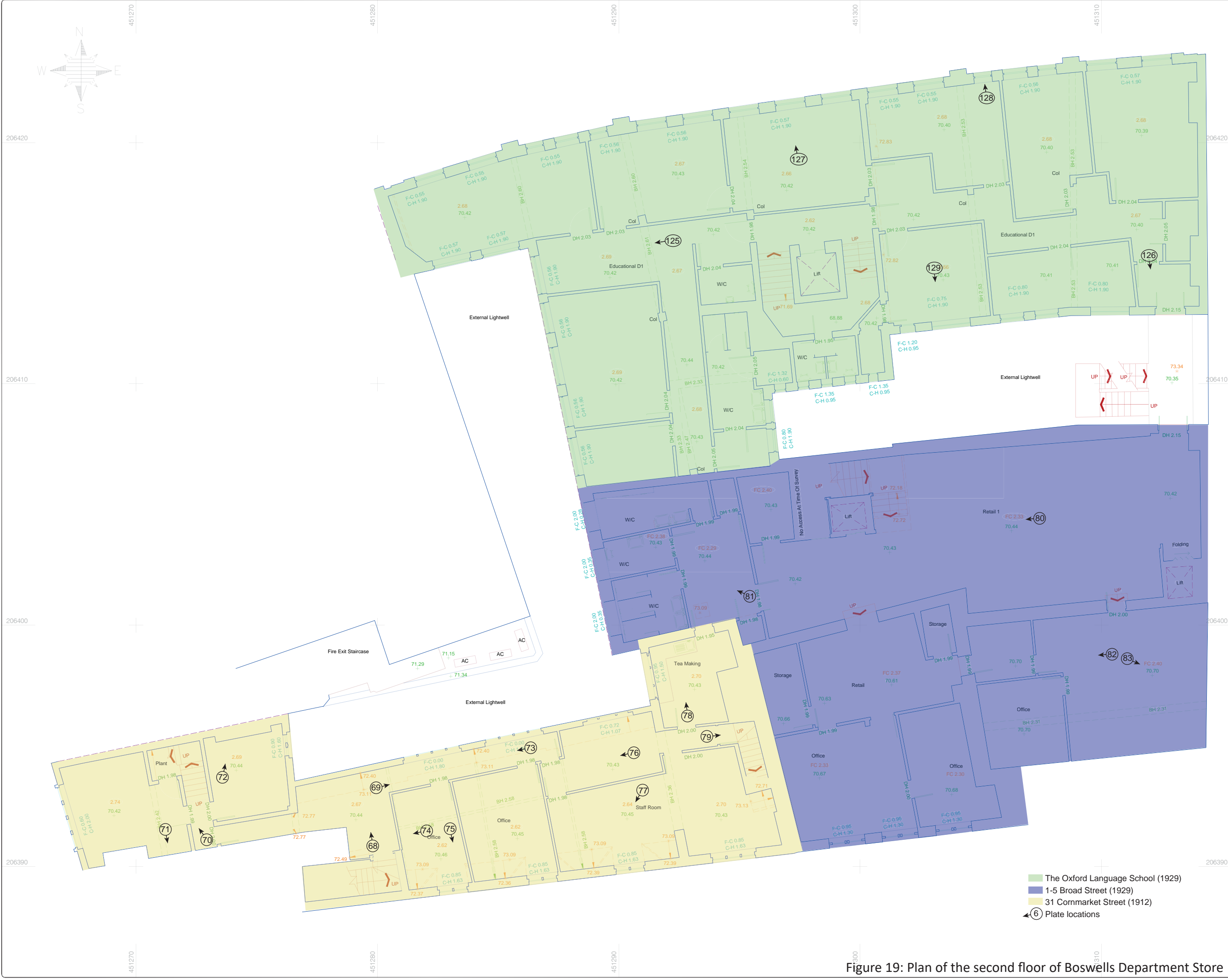
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Logos for RICS, The Society of Professional Surveyors, and other professional bodies.

Client	Cube
Project	Boswells of Oxford
Site Address	31 Commarket & 1-5 Broad Street, Oxford, OX1 3AG
Description	Floor Plan - First Floor
Survey Grid	Localised OSGB36(15) - Scale Factor 1.0
Survey Datum	GNSS - Ordnance Datum Newlyn (ODN)
Drawing Scale	1:100 @ A2
Drawing Number	MSL34887-FP1-RevC

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Figure 18: Plan of the first floor of Boswells Department Store



■ The Oxford Language School (1929)
■ 1-5 Broad Street (1929)
■ 31 Cornmarket Street (1912)
6 Plate locations

LEGEND

MBS Linework Features

- Beam
- Building Cut
- Building Cut Assumed
- Building Forward
- Ceiling
- Cliff
- Detail
- Detail Assumed
- Door
- Floors
- Floor
- Ground
- Lift
- Railings
- Roof
- Sanitary
- Service Cable Tray
- Service Electric
- Service Fire Fighting
- Service HVAC
- Service Lighting
- Service Other
- Service Plant
- Service Security
- Stairs
- Vegetation
- Wall
- Window

▲ Drawing Fit Mark
▲ Section Location Tag
▲ Elevation Location Tag

MBS Symbols & Features

- Stair Break Line
- Stair & Ramp Arrow (Up)
- Arch (Down)
- F-S 0.00 Floor to Spring Height (Arch)
- F-H 0.00 Floor to Head Height (Arch)
- Slope Arrow (Down)
- Level Symbol (Elevations)
- 10.00 Floor Level (Plans)
- 13.00 Overhead Level (Plans)
- 0.00 Overhead Heights (Plans)
- C-S 0.00 Window Heights (Plans)
- C-H 0.00 Window Heights (Plans)
- Tree
- Hand Basin
- Hand Basin
- Sink - With Draining Board
- Toilet With Cistern
- Toilet Without Cistern
- Disabled Toilet
- Urinal
- Shower Tray
- Bath Tub

MBS Abbreviations

- AB Air Brick
- AC Air Conditioning
- AS Alarm / Siren
- BDP Break Glass Point
- BH Beam Height
- C-M C-M to Head Height
- C-S C-S to Spring Height
- CCTV Close Circuit Television
- CL Cover Level
- Chim
- Conc Concrete Finish
- Conc Concrete Paving Slabs
- Cup Cupboard
- DH Door Height
- EBX Electrical Box
- EL Emergency Light
- ER Earth Roof
- FA Fire Alarm
- F-C Floor to Cill Height
- FH Fire Hydrant
- FB Fire Bed
- FI Fine Hydrant
- PHR Fire Hose Reel
- Q Cully
- GM Gas Meter
- GP Gas Pipe
- GV Gas Valve
- HR Hand Rail
- IC Inspection Chamber
- L Light
- LM Main Valve
- NA No Access
- Ob Overhead
- Rac Radiator
- RSJ Rolled Steel Joist
- RWP Rain Water Pipe
- S Sprinkler
- SC Structural Ceiling
- SD Smoke Detector
- Shy Shyft
- Spk Speaker
- SVR Soil Vent Pipe
- U Urinal
- V Vent
- VP Vent Pipe
- WC Toilet
- WHB Wash Hand Basin
- WM Water Meter
- WV Water Valve
- WT Water Tank

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Rev	Description	Surveyed by	Drawn by	Checked by
A	Final Issue	HB-31/01/20	BT-28/03/20	TMD-03/03/20
B	Second Issue: Ceiling and Beam Heights	HB-31/01/20	BT-28/03/20	FB-03/03/20
C	Additional Survey Details Shown	HB-31/01/20	TMD-18/03/20	FB-18/03/20

Rev	Description	Surveyed by	Drawn by	Checked by
A	Final Issue	HB-31/01/20	BT-28/03/20	TMD-03/03/20
B	Second Issue: Ceiling and Beam Heights	HB-31/01/20	BT-28/03/20	FB-03/03/20
C	Additional Survey Details Shown	HB-31/01/20	TMD-18/03/20	FB-18/03/20

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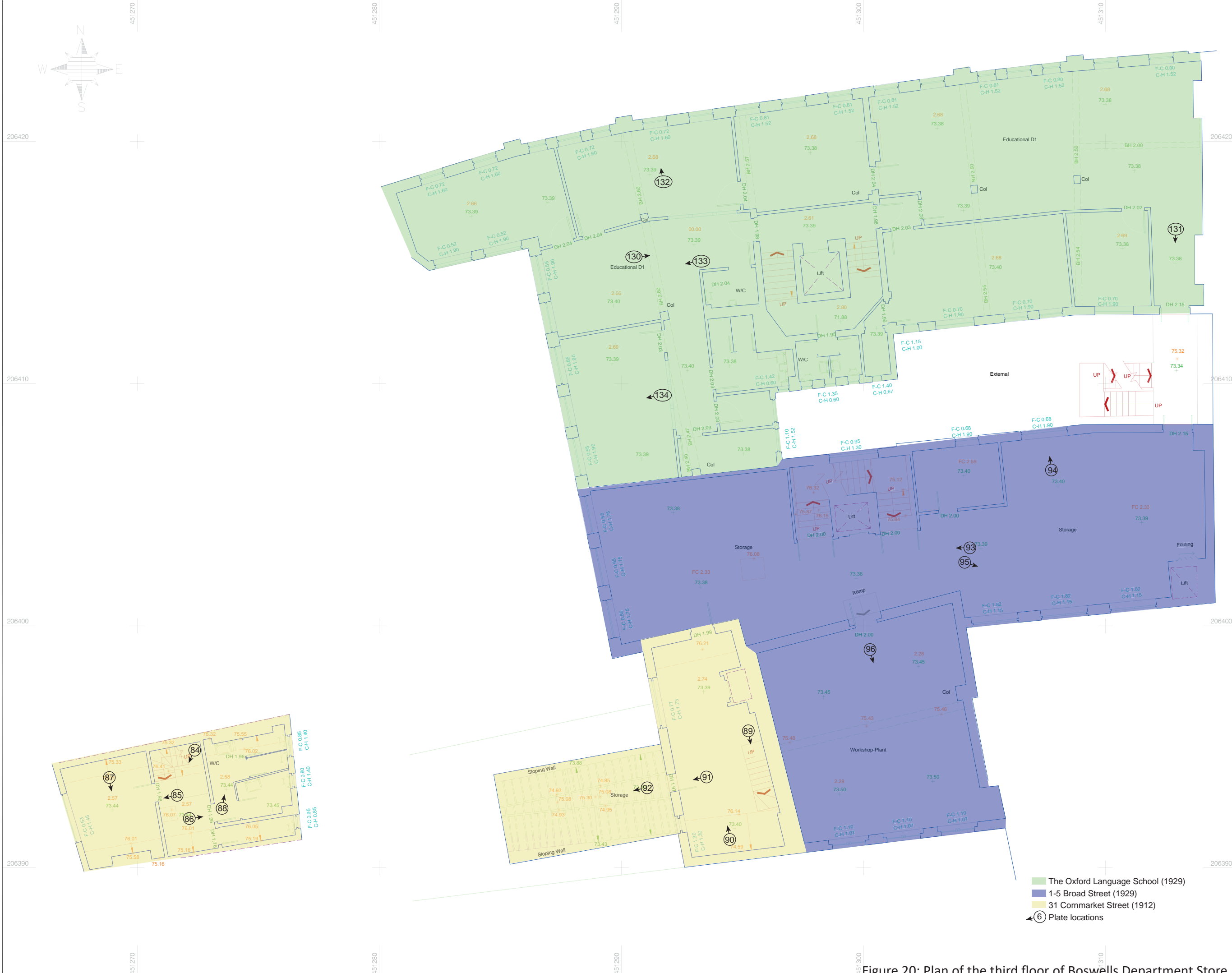
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Client	Cube
Project	Boswells of Oxford
Site Address	31 Cornmarket & 1-5 Broad Street, Oxford, OX1 3AG
Description	Floor Plan - Second Floor
Survey Grid	Localised OSGB36(15) - Scale Factor 1.0
Survey Datum	GNSS - Ordnance Datum Newlyn (ODN)
Drawing Scale	1:100 @ A2
Drawing Number	MSL34887-FP2-RevC

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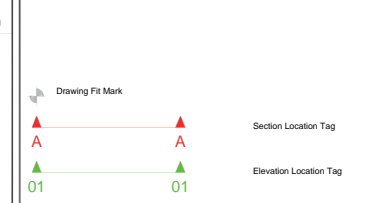
Figure 19: Plan of the second floor of Boswells Department Store



■ The Oxford Language School (1929)
■ 1-5 Broad Street (1929)
■ 31 Cornmarket Street (1912)
6 Plate locations

LEGEND

MBS Linework Features	
Beam	Roof
Building Cut	Sanitary
Building Cut Assumed	Service Cable Tray
Building Forward	Service Electric
Ceiling	Service Fire Fighting
Clit	Service HVAC
Detail	Service Lighting
Detail Assumed	Service Other
Detail Hidden	Service Pipe
Door	Service Plant
Fixture	Service Security
Floor	Stairs
Ground	Vegetation
Lift	Wall
Railings	Window



MBS Symbols & Features

Stair Break Line	Hand Basin
Stair & Ramp Arrow (Up)	Hand Basin
Arch (Down)	Hand Basin
Floor to Spring Height (Arch)	Sink - With Drawing Board
Floor to Head Height (Arch)	Toilet With Cistern
Slope Arrow (Down)	Toilet Without Cistern
Level Symbol (Elevations)	Disabled Toilet
10.00	Overhead Level (Plans)
0.00	Overhead Heights (Plans)
F-C 0.00	Urinal
C-S 0.00	Shower Tray
C-H 0.00	Bath Tub

MBS Abbreviations

AB	Air Brick	GV	Gas Valve
AC	Air Conditioning	HC	Height
AS	Alarm / Siren	HR	Hand Rail
BGP	Break Glass Point	IC	Inspection Chamber
BH	Beam Height	LC	Light
C-H	Clit to Head Height	MH	Man Hole
C-S	Clit to Spring Height	NAL	No Access
CCTV	Close Circuit Television	OV	Overhead
CL	Cover Level	RA	Radiator
Col	Column	RS	Roller Shutter
Conc	Concrete Finish	RSL	Roller Steel Joist
CPS	Concrete Piling Slabs	SWP	Span Water Pipe
Cap	Cupboard	S	Sprinkler
DH	Door Height	SC	Structural Ceiling
Elbow	Electrical Box	SD	Smoke Detector
EL	Emergency Light	SH	Shelf
EM	Earth Road	SH	Shelf
FA	Fire Alarm	SVP	Soil Vent Pipe
F-C	Floor to Clit Height	V	Vent Pipe
FC	False Ceiling	V	Vent Pipe
Flower Bed	Flower Bed	VP	Vent Pipe
FH	Fire Hose	WC	Wash Hand Basin
FHR	Fire Hose Reel	WM	Water Meter
G	Gully	WV	Water Valve
GM	Gas Meter	WT	Water Tank
GP	Gas Pipe		

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Revisions

Rev	Description	Surveyed by	Drawn by	Checked by
A	Final Issue	HB - 31/01/20	AT - 28/03/20	TMD - 02/04/20
B	Second Issue-Ceiling and Beam Heights	HB - 31/01/20	AT - 26/03/20	RE - 06/03/20
C	Additional Survey Details Shown	HB - 31/01/20	TMD - 18/03/20	RE - 18/03/20

Rev	Description	Surveyed by	Drawn by	Checked by

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Client	Cube
Project	Boswells of Oxford
Site Address	31 Cornmarket & 1-5 Broad Street, Oxford, OX1 3AG
Description	Floor Plan - Third Floor
Survey Grid	Localised OSGB36(15) - Scale Factor 1.0
Survey Datum	GNSS - Ordnance Datum Newlyn (ODN)
Drawing Scale	1:100 @ A2
Drawing Number	MSL34887-FP3-RevC

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Figure 20: Plan of the third floor of Boswells Department Store



LEGEND

MBS Linework Features

- Beam
- Building Cut
- Building Cut Assumed
- Building Forward
- Ceiling
- Cill
- Detail
- Detail Assumed
- Detail Hidden
- Door
- Feature
- Floor
- Ground
- Lift
- Railings

MBS Symbols & Features

- Stair Break Line
- Stair / Ramp Arrow (Up)
- Arch (Down)
- F-3.0.00 Floor to Spring Height (Arch)
- F-H 0.00 Floor to Head Height (Arch)
- Slope Arrow (Down)
- Level Symbol (Elevations)
- 10.00 Floor Level (Plans)
- 13.00 Overhead Level (Plans)
- 0.00 Overhead Heights (Plans)
- F-C 0.00 Window Heights (Plans)
- C-H 0.00 Window Heights (Plans)
- Tree

MBS Abbreviations

- AB Air Brick
- AC Air Conditioning
- AD Alarm / Siren
- BGP Break Glass Point
- BH Beam Height
- C-H Cill to Head Height
- C-S Cill to Spring Height
- CCTV Closed Circuit Television
- CL Cover Level
- Column
- Conc Concrete Finish
- CPS Concrete Paving Slabs
- Cup Cupboard
- DH Door Height
- Edbox Electrical Box
- EL Emergency Light
- ER Earth Rod
- FA Fire Alarm
- FC Floor to Cill Height
- FD Floor Dripping
- FB Fire Bell
- FH Fire Hydrant
- FHR Fire Hose Reel
- G Gas
- GP Gas Pipe
- GV Gas Valve
- HT Height
- HR Hand Rail
- I Inspection Chamber
- LH Lift
- M-Hole Man-Hole
- NA No Access
- OB Overhead
- Rad Radiator
- RS Roller Shutter
- RSJ Rolled Steel Joist
- RWP Rain Water Pipe
- SC Sprinkler
- SCS Structural Ceiling
- SD Smoke Detector
- SHL Shallow
- Spk Speaker
- SVP Solid Vent Pipe
- U Urinal
- V Vent
- VFP Vent Pipe
- WC Toilet
- WHB Wash Hand Basin
- WM Water Meter
- WV Water Valve
- WT Water Tank

Drawing File Mark

Section Location Tag

Elevation Location Tag

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Revisions			
Rev	Description	Surveyed by	Checked by
A	Final Issue	HB-31/01/20	AT-06/03/20
B	Second Issue Ceiling and Beam Heights	HB-31/01/20	AT-06/03/20
C	Additional Survey Details Shown	HB-31/01/20	TMD-18/03/20

Rev	Description	Surveyed by	Checked by

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Client	Cube
Project	Boswells of Oxford
Site Address	31 Cornmarket & 1-5 Broad Street, Oxford, OX1 3AG
Description	Floor Plan - Fourth Floor
Survey Grid	Localised OSGB36(15) - Scale Factor 1.0
Survey Datum	GNSS - Ordnance Datum Newlyn (ODN)
Drawing Scale	1:100 @ A2
Drawing Number	MSL34887-FP4-RevC

Figure 20: Plan of the third floor of Boswells Department Store

Sub Basement (See Figure 15 for plate locations)

010.0.10.86\invoice codes\thru q\codes\OXBSBS*rw*06.05.2022



Plate 1: Window openings in the north facing elevation of Boswells



Plate 2: The lightwell between Boswells and the building occupied by Waterstones, looking west

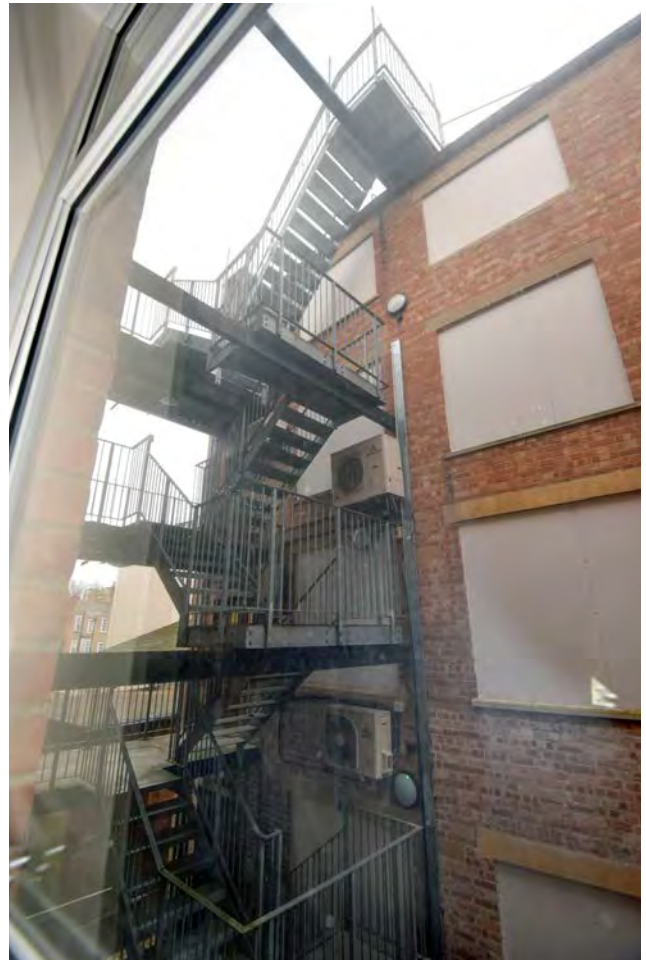


Plate 3: The central lightwell in 1 to 5 Broad Street, looking south-east



Plate 4: The central lightwell in 1 to 5 Broad Street, looking south-west

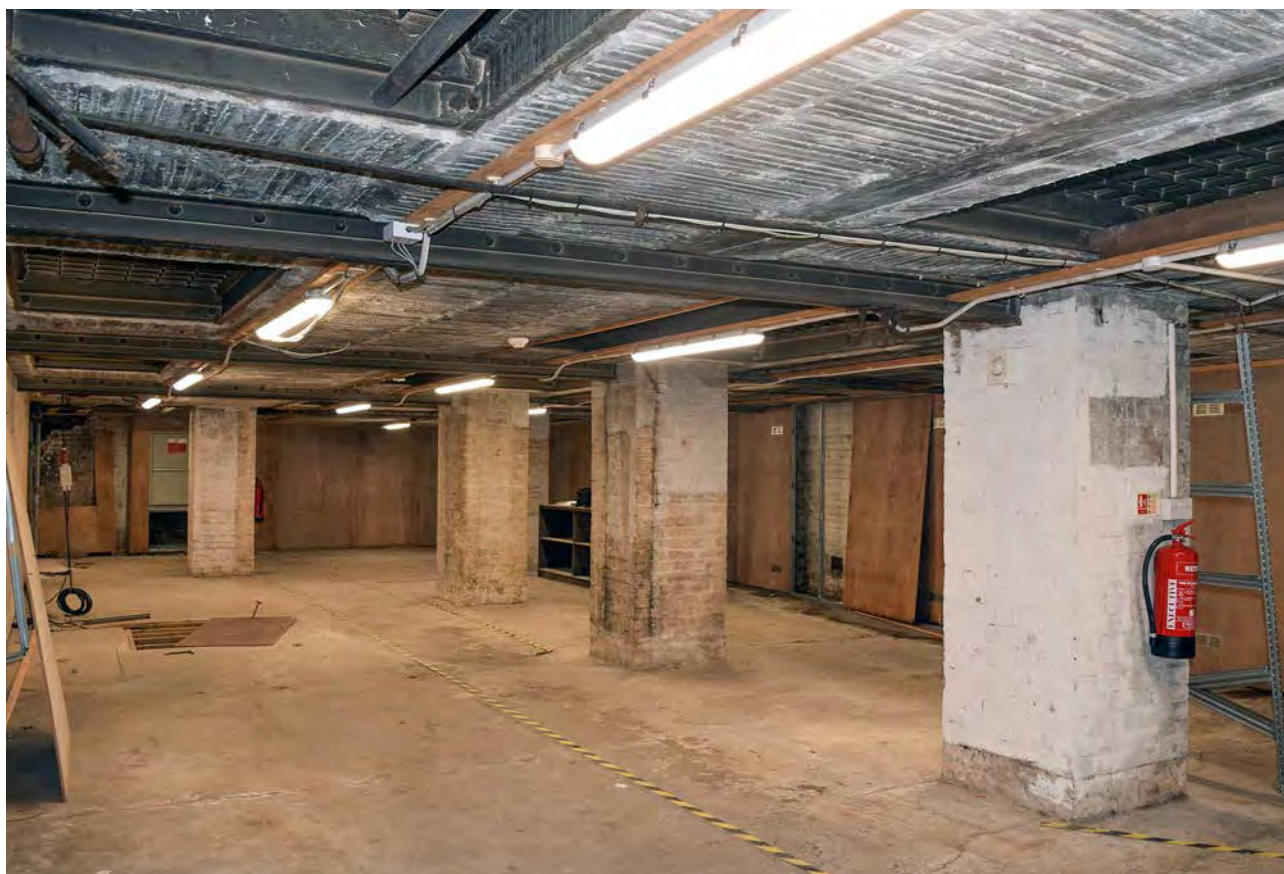


Plate 5: The sub basement of 31 Cornmarket Street, looking east

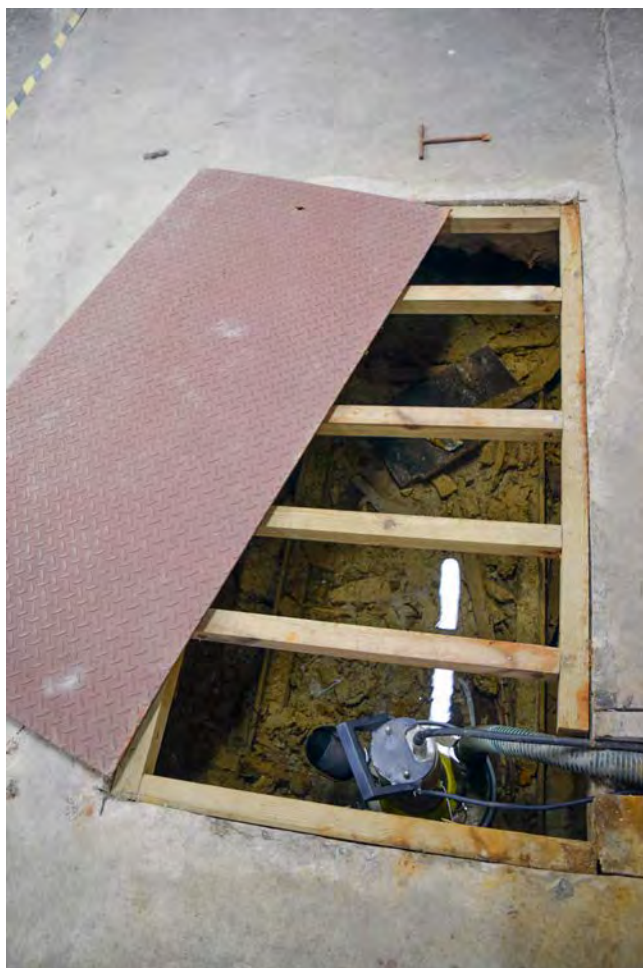


Plate 6: The sub basement of 31 Cornmarket Street, looking west

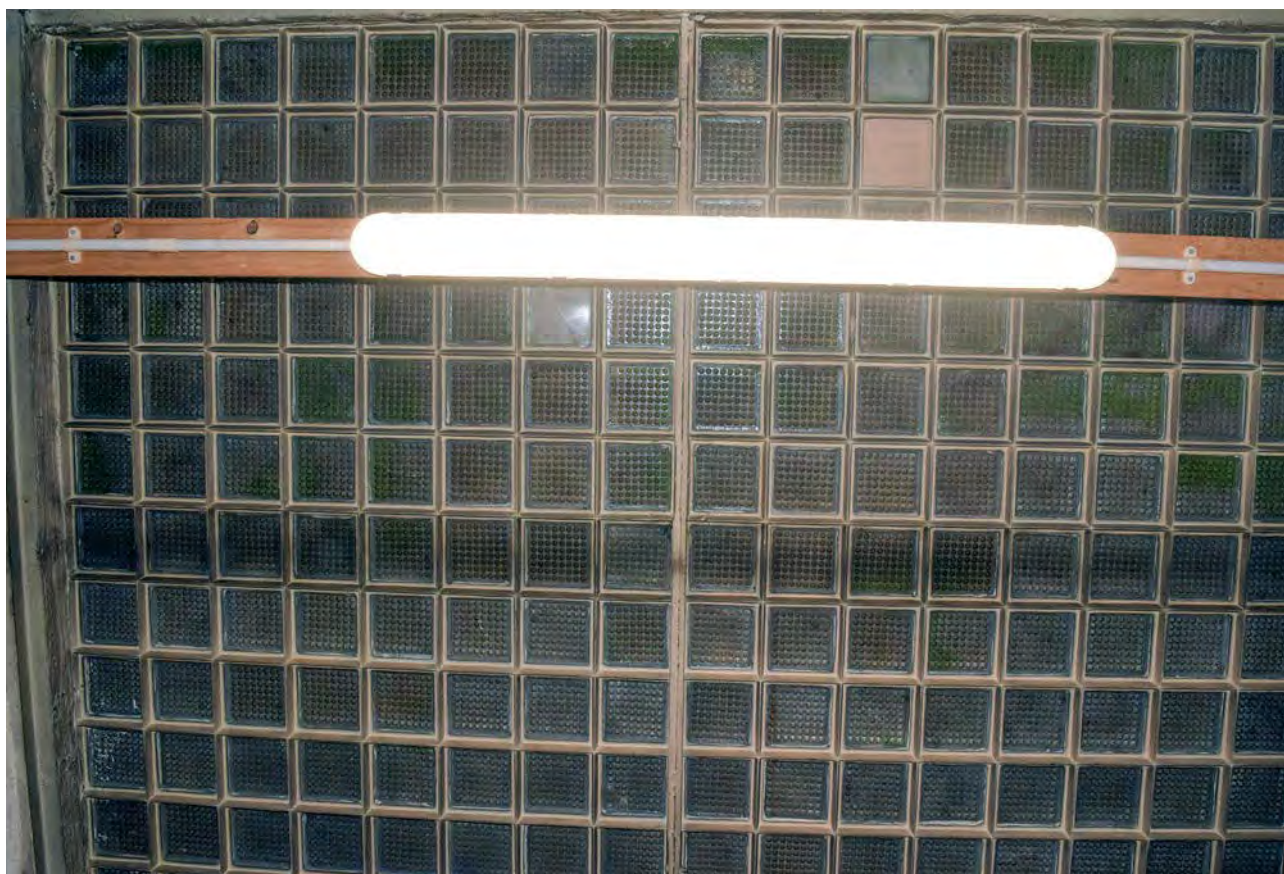


Plate 7: The ceiling of the sub basement of 31 Cornmarket Street

The Basement (See Figure 16 for plate locations)

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Plate 8: The floor of the south stairway in the basement of 31 Cornmarket Street, looking west



Plate 9: The basement of 31 Cornmarket Street, looking south-east



Plate 10: The basement of 31 Cornmarket Street, looking south



Plate 11: The basement of 31 Cornmarket Street, looking west



Plate 12: The basement of 1 to 5 Broad Street, looking north-east



Plate 13: WC in the basement of 1 to 5 Broad Street, looking south-east



Plate 14: WC in the basement of 1 to 5 Broad Street, looking south



Plate 15: WC in the basement of 1 to 5 Broad Street, looking south-east



Plate 16: The basement of 1 to 5 Broad Street, looking west

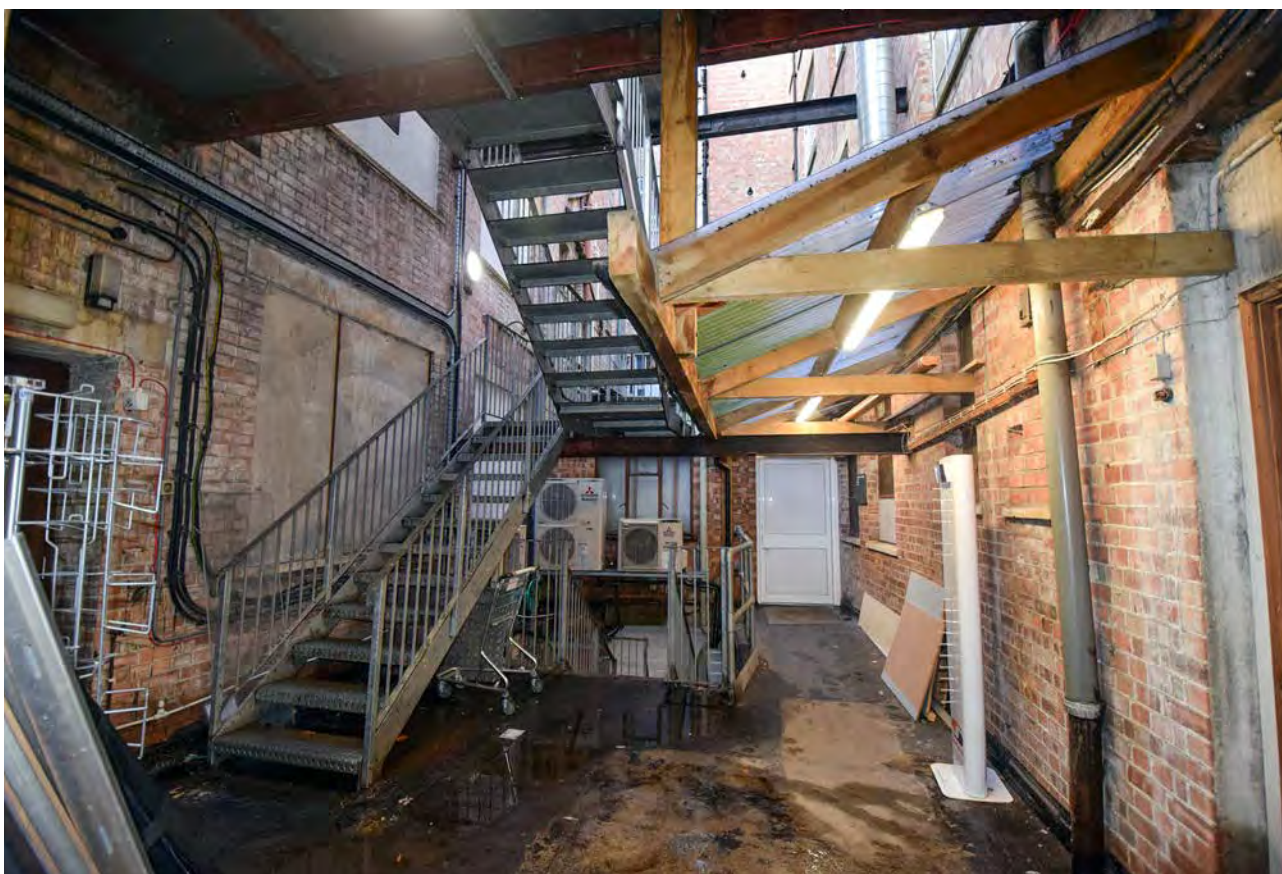


Plate 17: The basement of the central lightwell of 1 to 5 Broad Street, looking west



Plate 18: The basement of 1 to 5 Broad Street, looking south

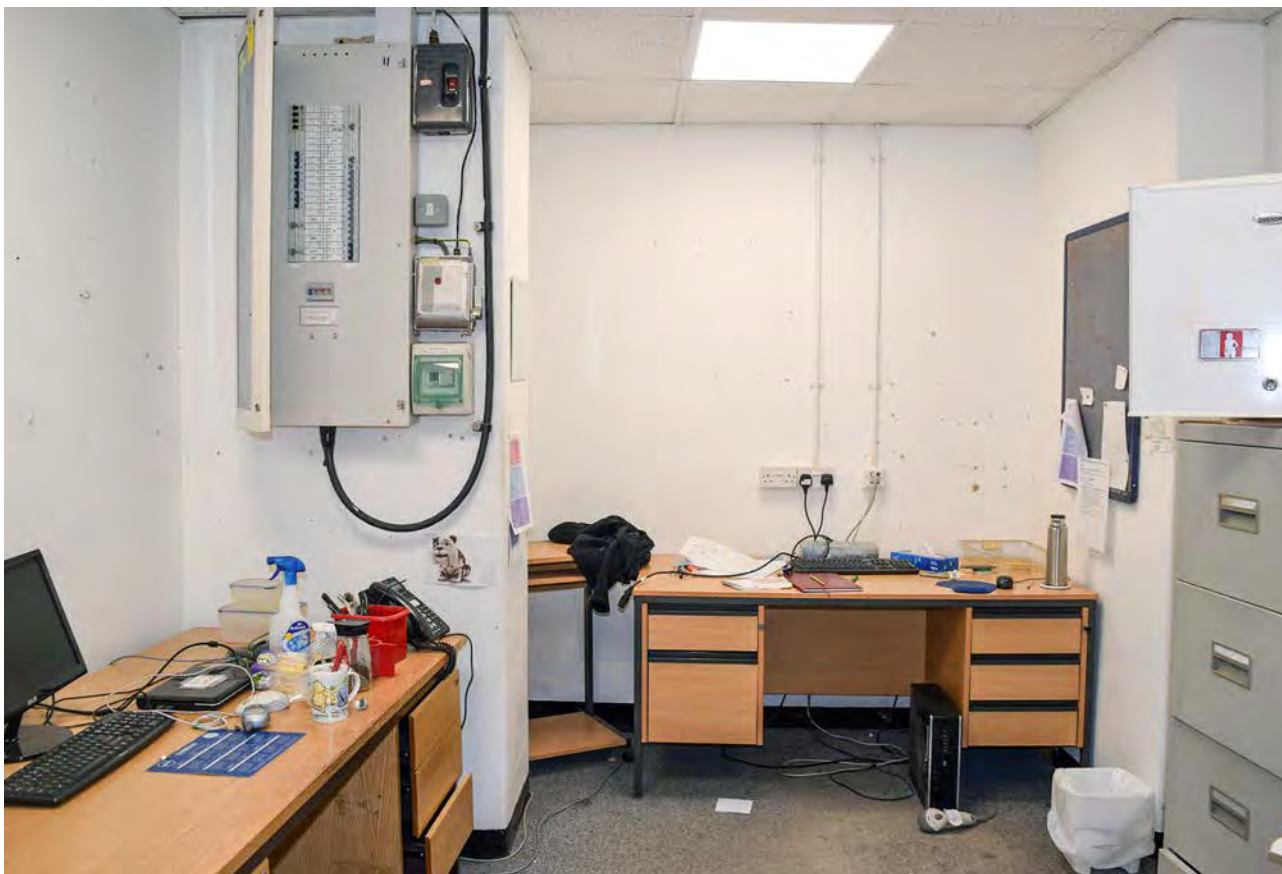


Plate 19: The basement of 1 to 5 Broad Street, looking south



Plate 20: The basement of 1 to 5 Broad Street, looking west



Plate 21: The basement of 1 to 5 Broad Street, looking west



Plate 22: The basement of 1 to 5 Broad Street, looking south-west



Plate 23: WC in the basement of 1 to 5 Broad Street, looking east



Plate 24: Kitchenette in the basement of 1 to 5 Broad Street, looking north-west

The Ground Floor (See Figure 17 for plate locations)

010.0.10.86\invoice codes 1 thru q\0_codes\OKBS5*mw*06.05.2022



Plate 25: The ground floor of 31 Cornmarket Street, looking west



Plate 26: The ground floor of 31 Cornmarket Street, looking east



Plate 27: The ground floor of 31 Cornmarket Street, looking north-west



Plate 28: The ground floor of 31 Cornmarket Street, looking south

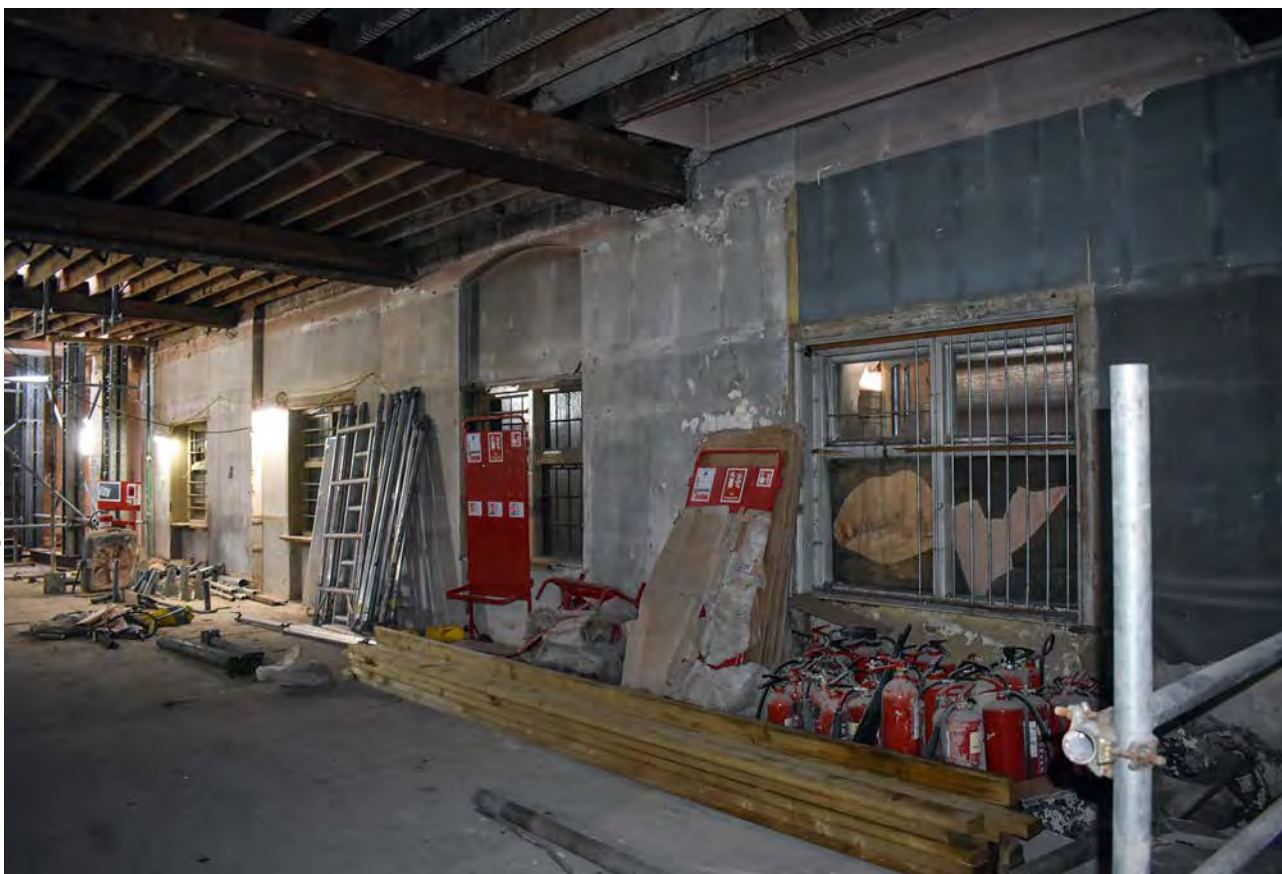


Plate 29: The ground floor of 31 Cornmarket Street, looking south-east



Plate 30: Window in the ground floor of 31 Cornmarket Street, looking south-west



Plate 31: Light switches in the ground floor of 31 Cornmarket Street, looking west



Plate 32: Windows in the stairway of 31 Cornmarket Street, looking south-east

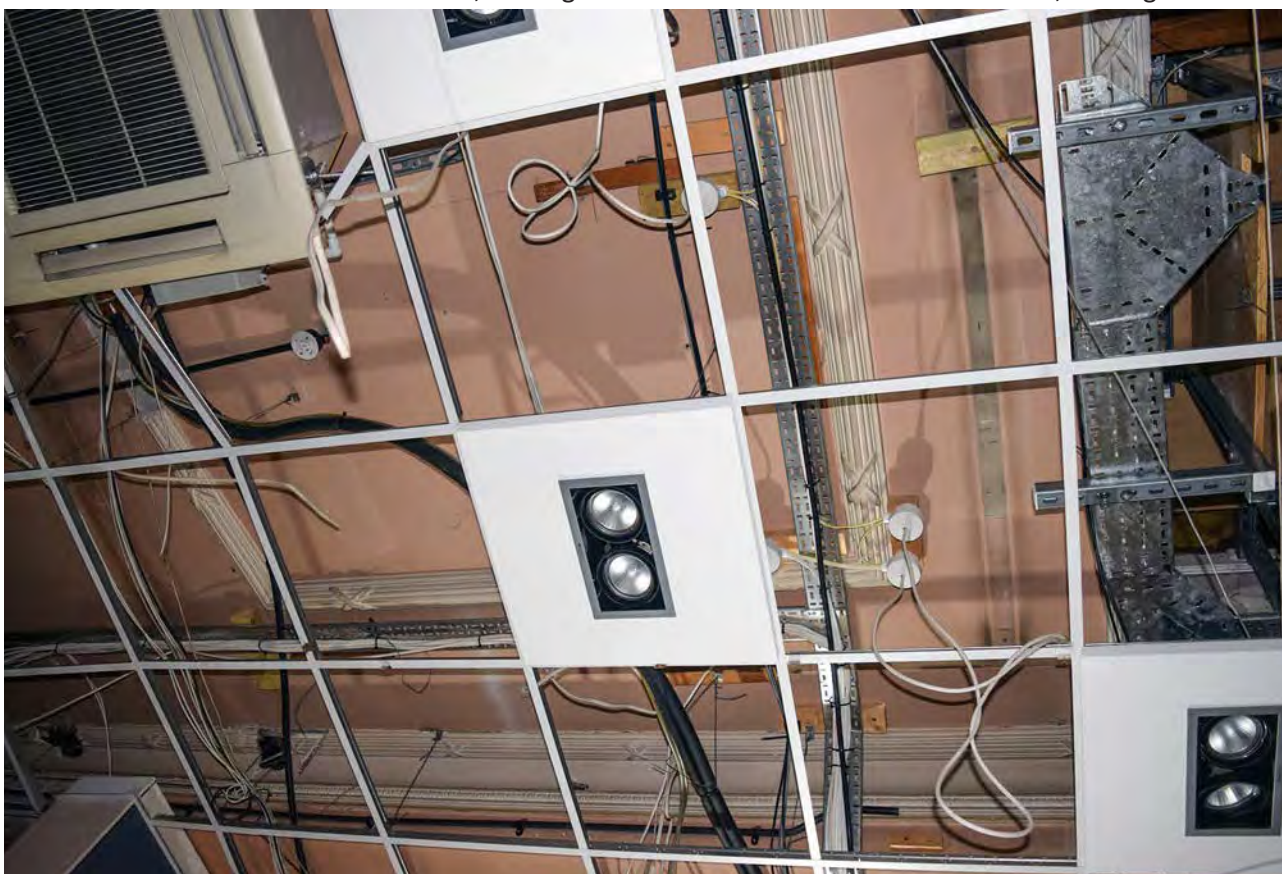


Plate 33: Ceiling in the ground floor of 31 Cornmarket Street



Plate 34: Ceiling in the ground floor of 31 Cornmarket Street



Plate 35: Ceiling in the ground floor of 31 Cornmarket Street, looking north



Plate 36: The ground floor of 1 to 5 Broad Street, looking north



Plate 37: The ground floor of 1 to 5 Broad Street, looking west

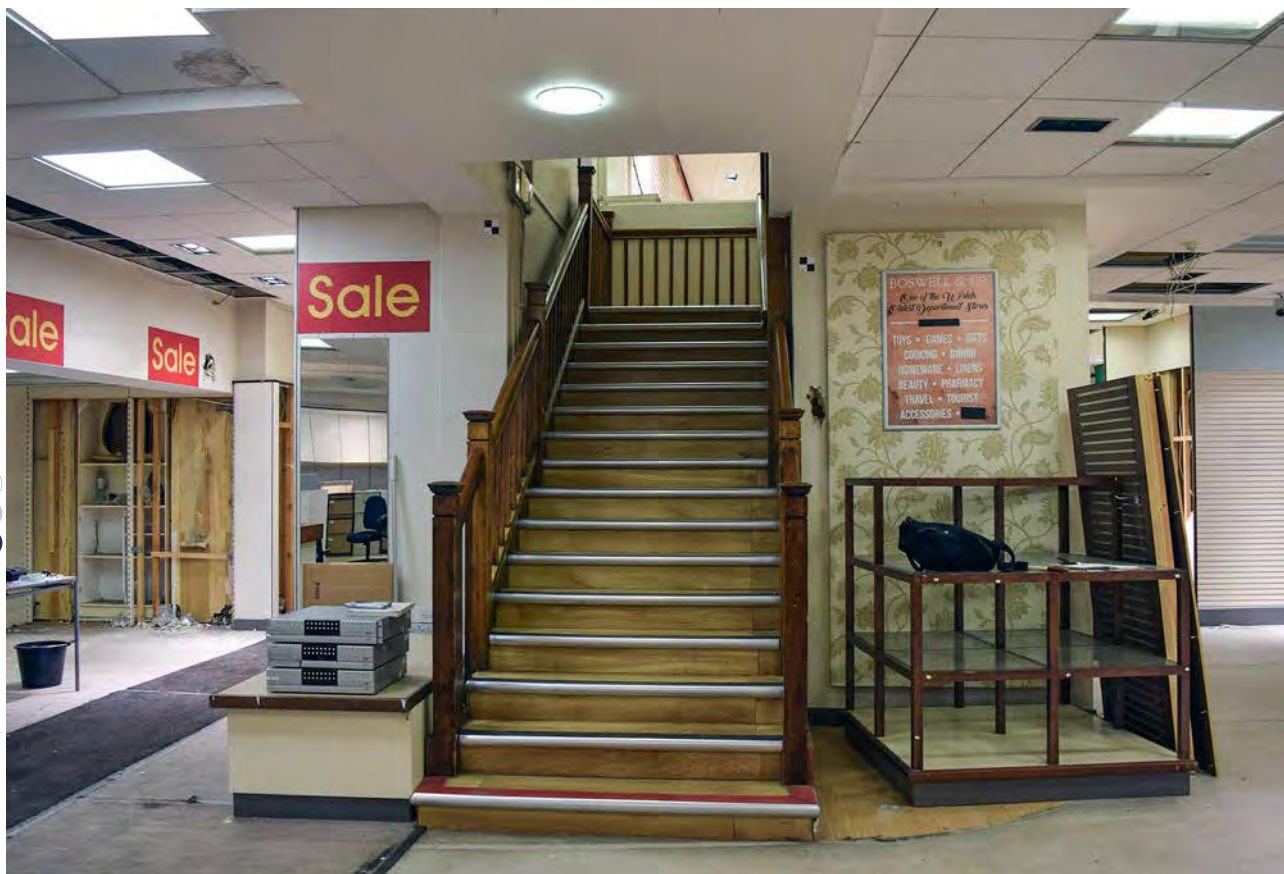


Plate 38: The ground floor of 1 to 5 Broad Street, looking east



Plate 39: The ground floor of 1 to 5 Broad Street, looking east



Plate 40: The ground floor of 1 to 5 Broad Street, looking south-west



Plate 41: Glass tiles on the floor of the ground floor entrance to 1 to 5 Broad Street



Plate 42: Terrazzo floor inside the ground floor entrance of 1 to 5 Broad Street



Plate 43: The ground floor of 1 to 5 Broad Street, looking south-east



Plate 44: The ground floor of 1 to 5 Broad Street, looking east



Plate 45: The weights and measures of the Apothecary System in the pharmacy of Boswells Store



Plate 46: The weights and measures of the Apothecary System in the pharmacy of Boswells store



Plate 47: The weights and measures of the Apothecary System in the pharmacy of Boswells store



Plate 48: The gold weights of the Apothecary System in the pharmacy of Boswells store

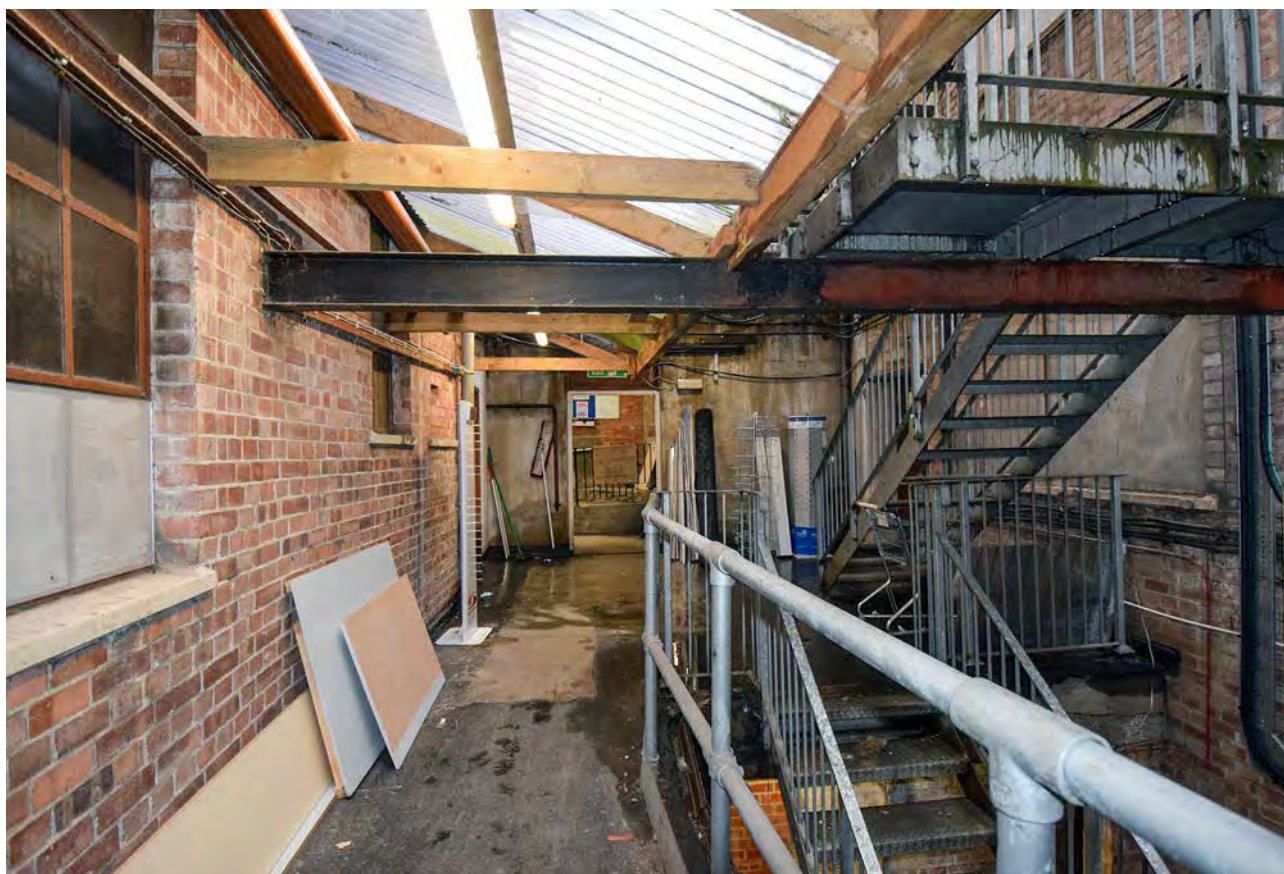


Plate 49: The ground floor of the central lightwell in 1 to 5 Broad Street, looking east



Plate 50: The passage from Broad Street in the ground floor of 1 to 5 Broad Street, looking north



Plate 51: The alleyway on the east side of Boswells, where the bastion of Oxford City Walls can be viewed, looking south



Plate 52: Window in the passage from Broad Street in the ground floor of 1 to 5 Broad Street

The First floor (See Figure 18 for plate locations)

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Plate 53: The first floor of 31 Cornmarket Street, looking west



Plate 54: The first floor of 31 Cornmarket Street, looking east



Plate 55: The first floor of 31 Cornmarket Street, looking south-west



Plate 56: The first floor of 31 Cornmarket Street, looking south-west

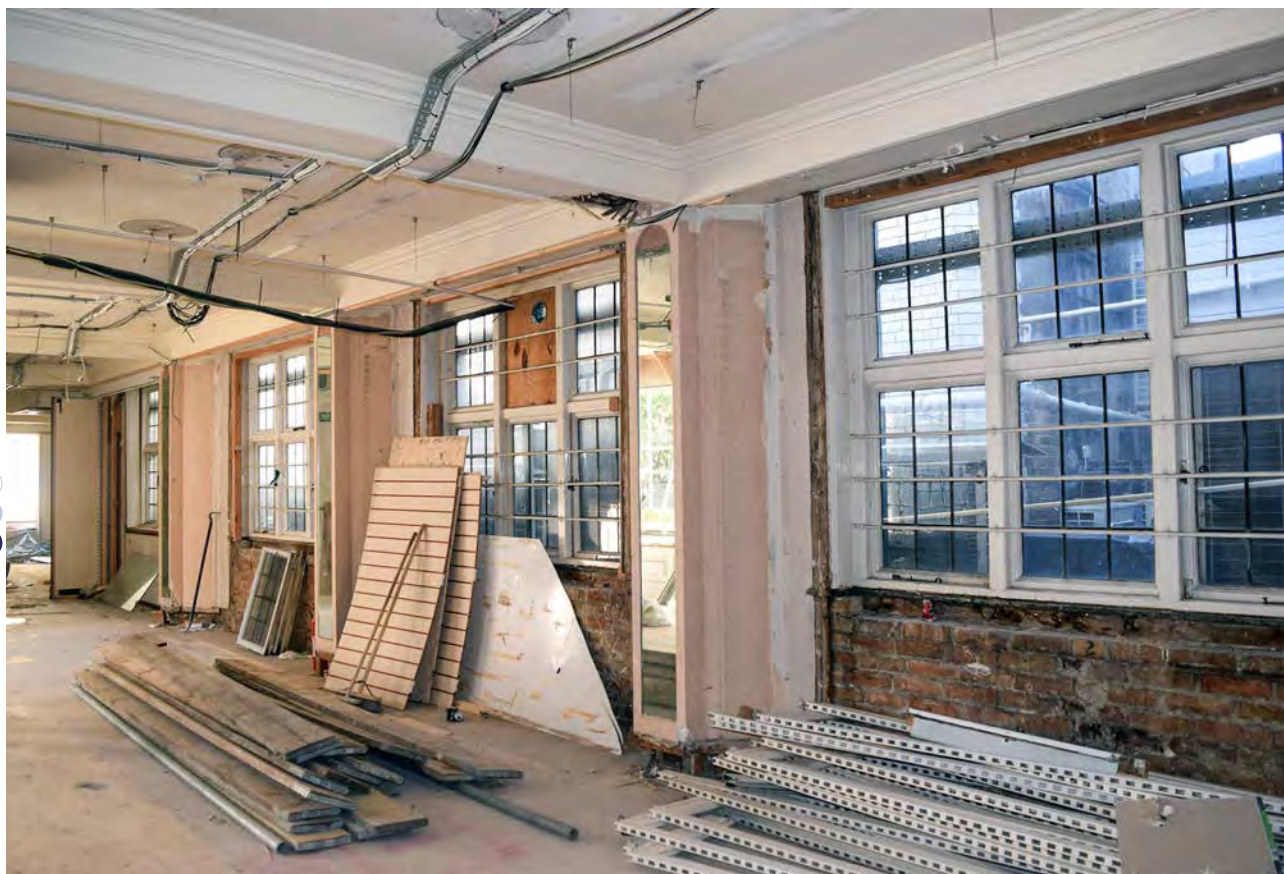


Plate 57: The first floor of 31 Cornmarket Street, looking north-west



Plate 58: Cornice on the north side of the window opening in the second floor of 31 Cornmarket Street, looking north



Plate 59: The stairway between the first and second floor in 31 Cornmarket Street, looking south-west



Plate 60: The first floor of 1 to 5 Cornmarket Street, looking north



Plate 61: The first floor of 1 to 5 Cornmarket Street, looking east



Plate 62: The first floor of 1 to 5 Cornmarket Street, looking east



Plate 63: The first floor of 1 to 5 Cornmarket Street, looking east



Plate 64: Window overlooking Broad Street in the first floor of 1 to 5 Broad Street, looking north

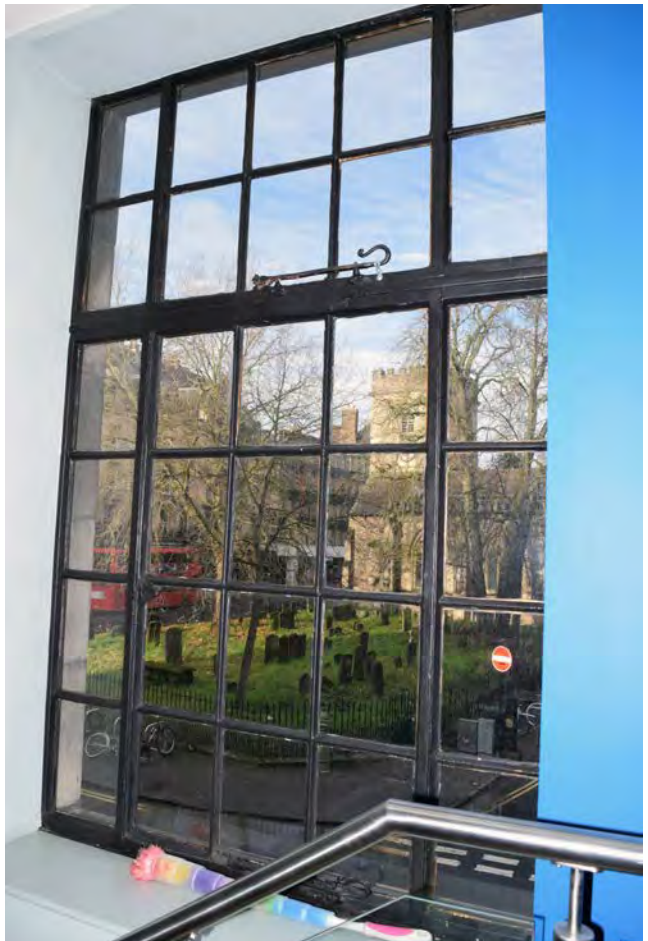


Plate 65: Window overlooking Broad Street in the first floor of 1 to 5 Broad Street, looking north-west



Plate 66: Gold paintwork behind modern panelling in the first floor of 1 to 5 Broad Street, looking east



Plate 67: Gold paintwork behind modern panelling in the first floor of 1 to 5 Broad Street, looking south

The Second Floor (See Figure 19 for plate locations)

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Plate 68: The second floor of 31 Cornmarket Street, looking north



Plate 69: The second floor of 31 Cornmarket Street, looking north-east



Plate 70: The second floor of 31 Cornmarket Street, north-west



Plate 71: The second floor of 31 Cornmarket Street, looking south



Plate 72: The second floor of 31 Cornmarket Street, looking north-east



Plate 73: The second floor of 31 Cornmarket Street, looking west



Plate 74: The second floor of 31 Cornmarket Street, looking west



Plate 75: The second floor of 31 Cornmarket Street, looking south



Plate 76: The second floor of 31 Cornmarket Street, looking west



Plate 77: The second floor of 31 Cornmarket Street, looking south-west

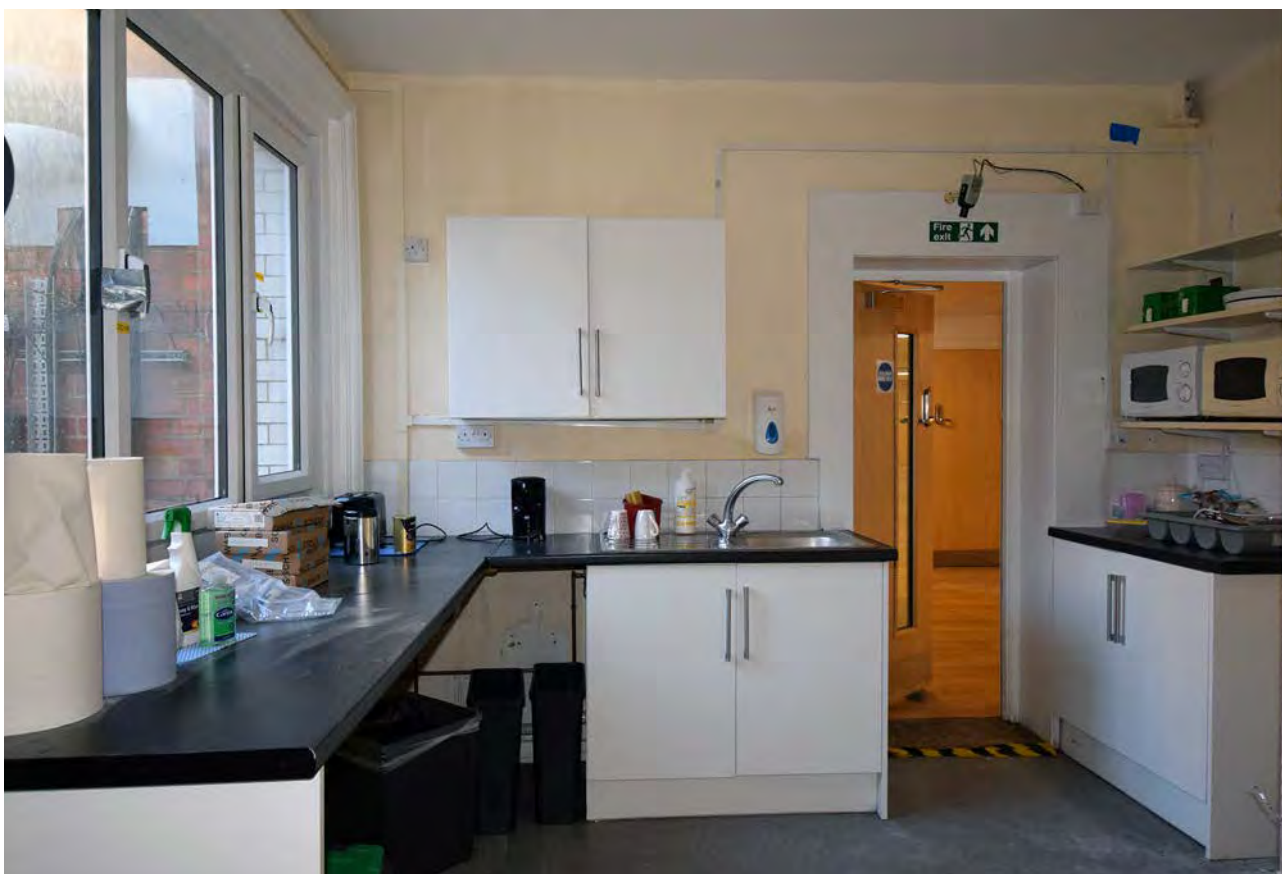


Plate 78: The second floor of 31 Cornmarket Street, looking north



Plate 79: The second floor of 31 Cornmarket Street, looking east



Plate 80: The second floor of 1 to 5 Broad Street, looking west



Plate 81: The second floor of 1 to 5 Broad Street, looking north-west



Plate 82: The second floor of 1 to 5 Broad Street, looking west



Plate 83: The second floor of 1 to 5 Broad Street, looking east

The Third Floor (See Figure 20 for plate locations)



Plate 84: The stairway between the second and third floor of 31 Cornmarket Street, looking south-west

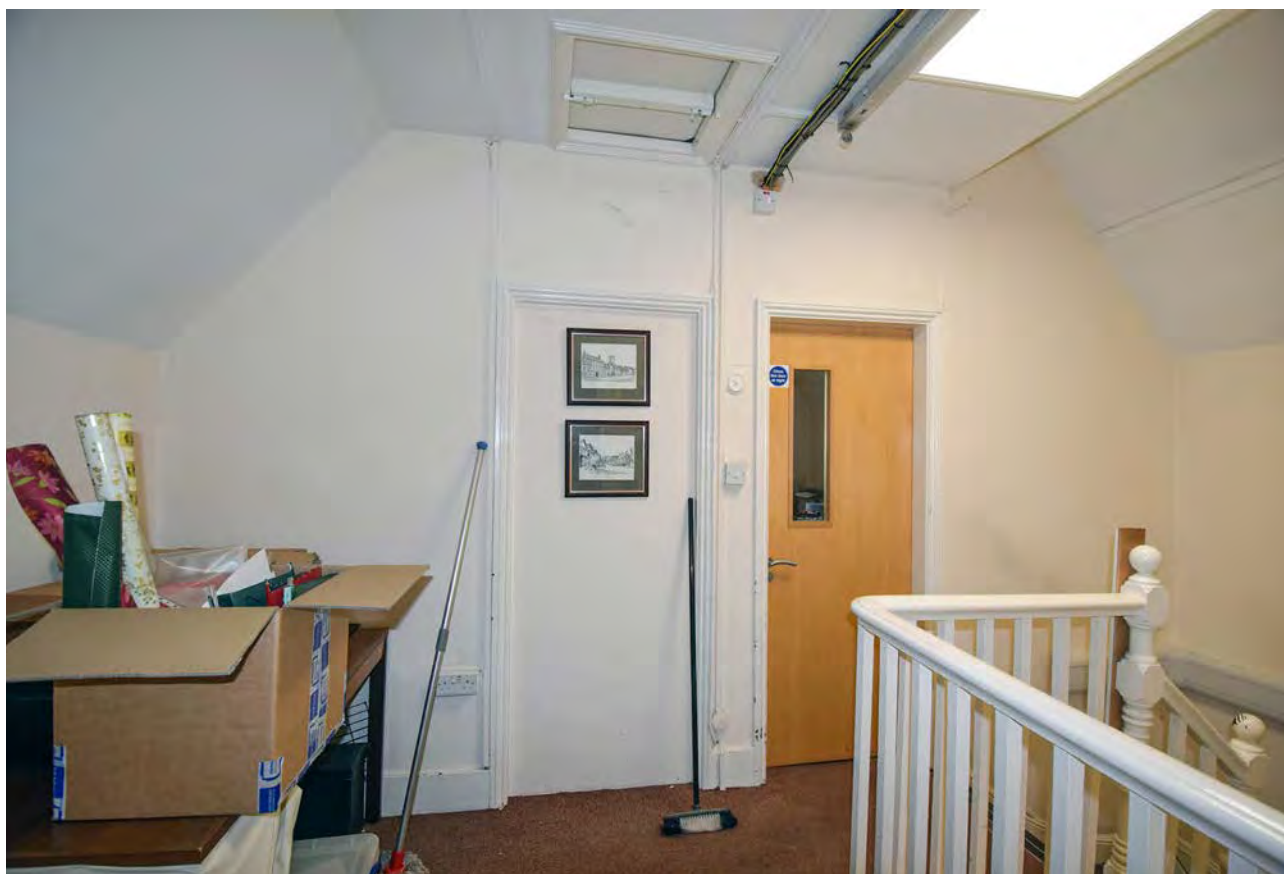


Plate 85: The third floor of 31 Cornmarket Street, looking west



Plate 86: The third floor of 31 Cornmarket Street, looking east

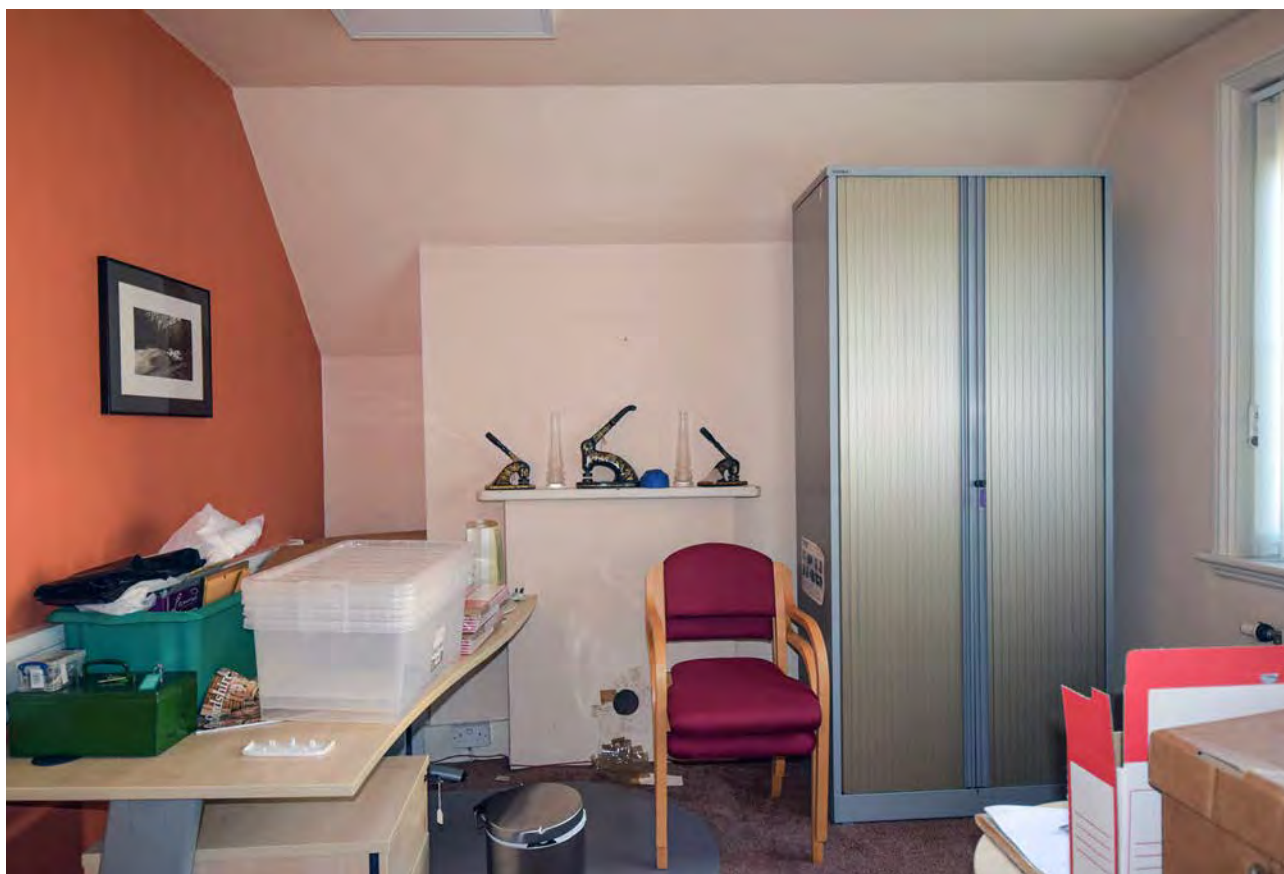


Plate 87: The third floor of 31 Cornmarket Street, looking south



Plate 88: The third floor of 31 Cornmarket Street, looking north-east

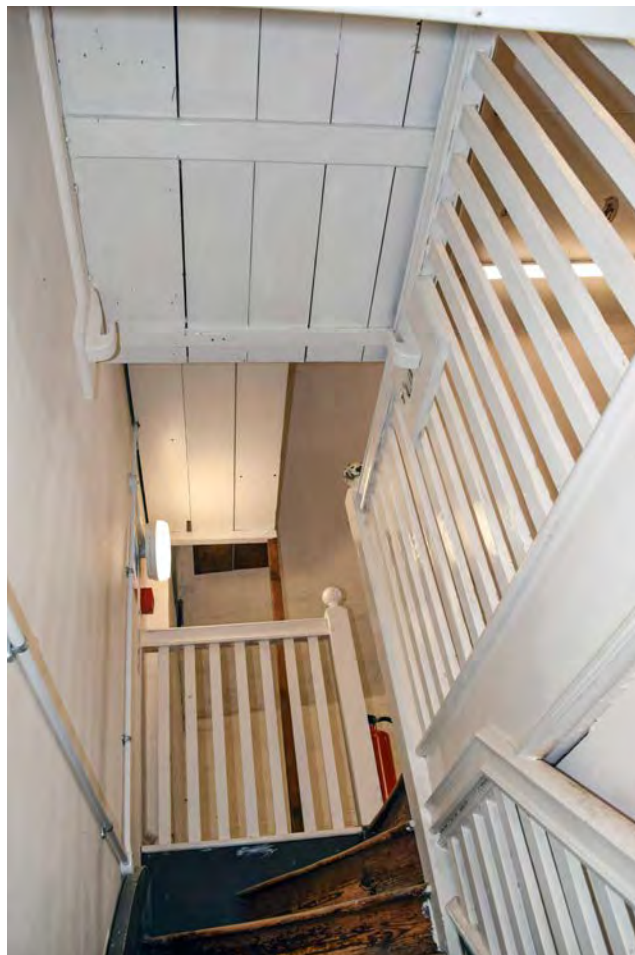


Plate 89: The stairway between the second and third floor of 31 Cornmarket Street, looking south



Plate 90: The third floor of 31 Cornmarket Street, looking north

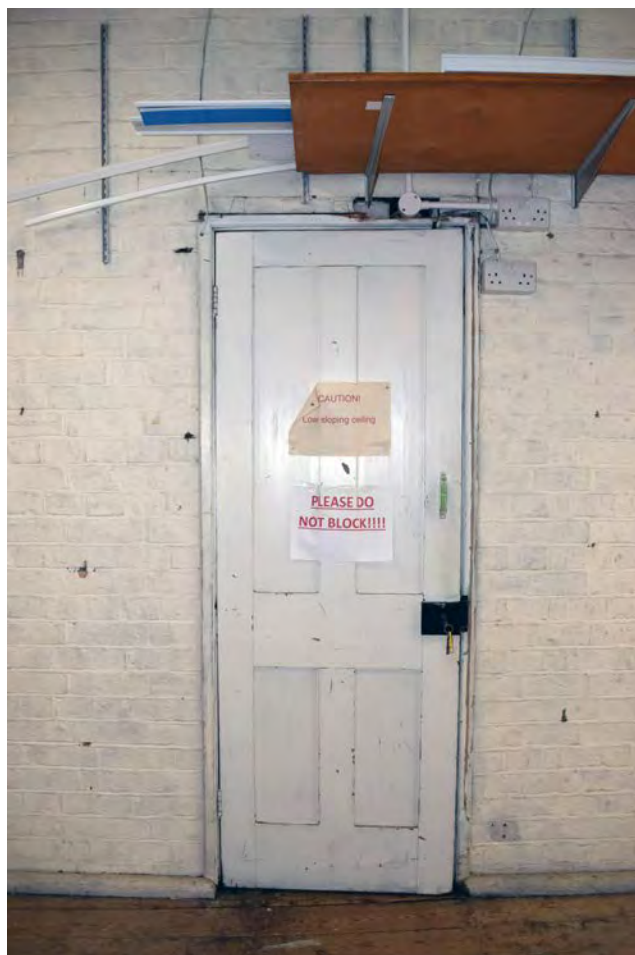


Plate 91: The third floor of 31 Cornmarket Street, looking west



Plate 92: The third floor of 31 Cornmarket Street, looking west



Plate 93: The third floor of 1 to 5 Broad Street, looking west



Plate 94: The third floor of 1 to 5 Broad Street, looking north



Plate 95: The third floor of 1 to 5 Broad Street, looking south



Plate 96: The third floor of 1 to 5 Broad Street, looking south-east

The Fourth Floor (See Figure 21 for plate locations)

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Plate 97: The fourth floor of 1 to 5 Broad Street, looking north-west



Plate 98: The fourth floor of 1 to 5 Broad Street, looking south-west



Plate 99: The fourth floor of 1 to 5 Broad Street, looking north



Plate 100: The fourth floor of 1 to 5 Broad Street, looking south



Plate 101: The fourth floor of 1 to 5 Broad Street, looking north



Plate 102: The fourth floor of 1 to 5 Broad Street, looking south-west



Plate 103: The fourth floor of 31 Cornmarket Street, looking north-east

Nos. 1 to 5 Broad Street (See Figures 16 & 17 for plate locations)

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Plate 104: The ground floor of no. 4 Broad Street, looking north



Plate 105: The ground floor of no. 4 Broad Street, looking south-east



Plate 106: The stairway between the ground floor and basement of no. 4 Broad Street, looking north



Plate 107: The basement of no. 4 Broad Street, looking south



Plate 108: The basement of no. 4 Broad Street, looking north



Plate 109: The basement of no. 4 Broad Street, looking east



Plate 110: The ground floor of no. 5 Broad Street, looking north



Plate 111: The ground floor of no. 5 Broad Street, looking south-east



Plate 112: The basement of no. 5 Broad Street, looking north

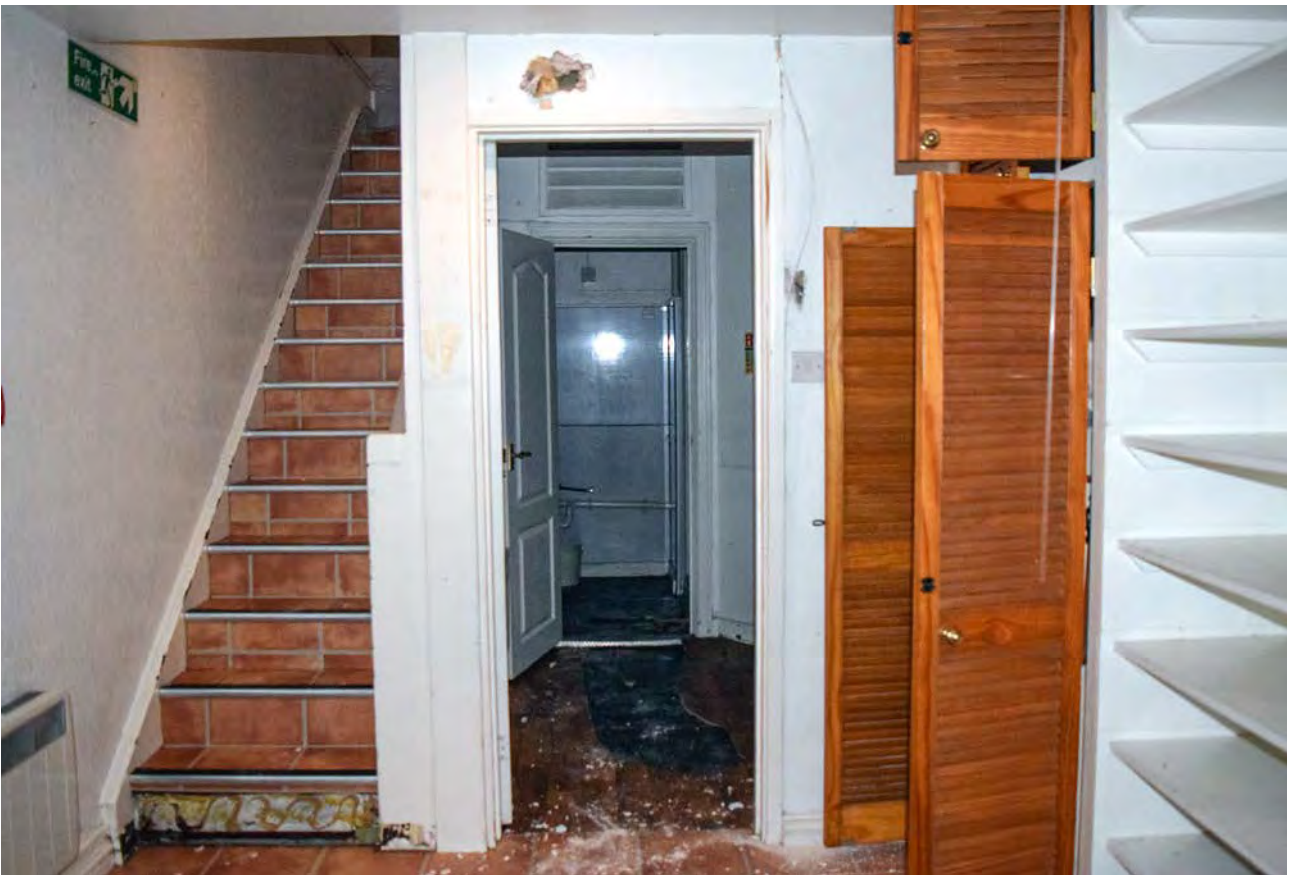


Plate 113: The basement of no. 5 Broad Street, looking south

Oxford Language School (See Figures 16 to 21)

oxforduniversity
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Plate 114: The ground floor entrance to Oxford Language School from Broad Street, looking north



Plate 115: The stairway from the ground floor to the first floor in Oxford Language School, looking east



Plate 116: The half landing room between the ground and first floor of Oxford Language School, looking south



Plate 117: The half landing room between the third and fourth floor of Oxford Language School, looking south

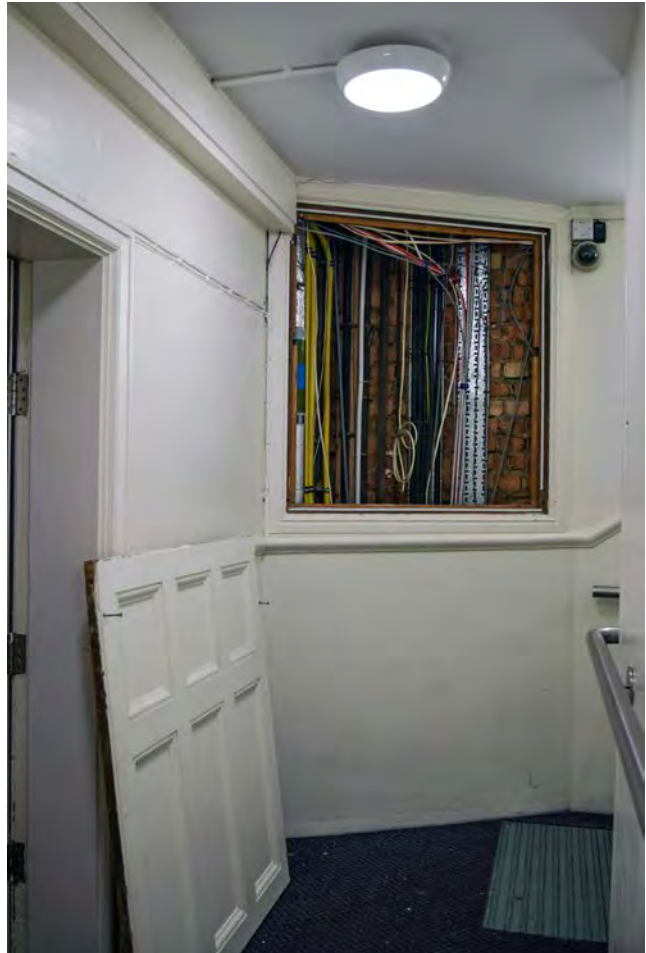


Plate 118: The half landing between the ground and first floor of Oxford Language School, looking west



Plate 119: The first floor of Oxford Language School, looking east



Plate 120: The first floor of Oxford Language School, looking south



Plate 121: The first floor of Oxford Language School, looking south



Plate 122: The first floor of Oxford Language School, looking south



Plate 123: The first floor of Oxford Language School, looking north



Plate 124: The first floor of Oxford Language School, looking north



Plate 125: The second floor of Oxford Language School, looking west



Plate 126: The second floor of Oxford Language School, looking south-east



Plate 127: The second floor of Oxford Language School, looking north

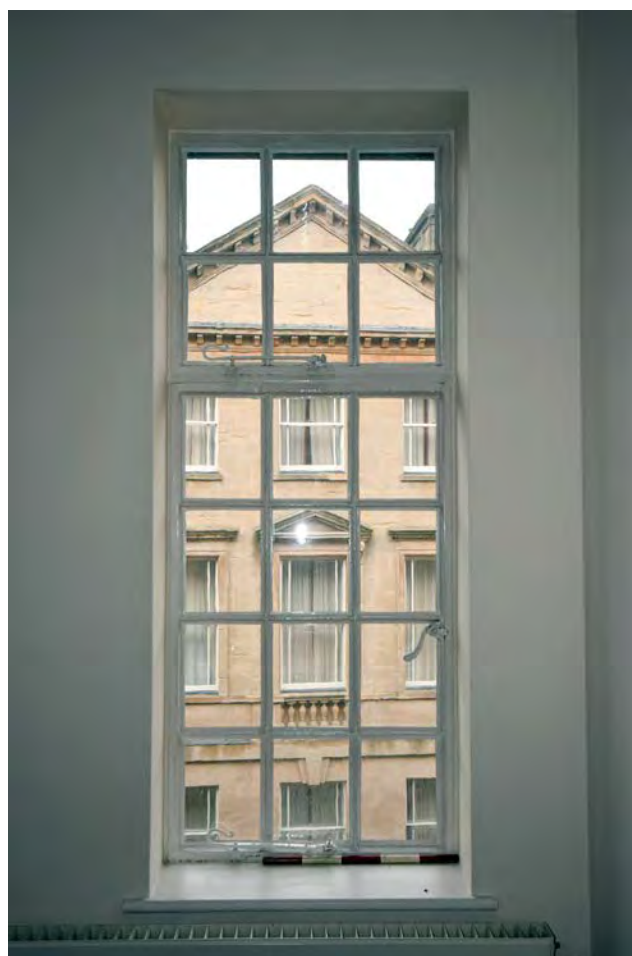


Plate 128: The second floor of Oxford Language School, looking north



Plate 129: The second floor of Oxford Language School, looking south



Plate 130: The third floor of Oxford Language School, looking east



Plate 131: The third floor of Oxford Language School, looking south



Plate 132: The third floor of Oxford Language School, looking north



Plate 133: The third floor of Oxford Language School, looking west



Plate 134: The third floor of Oxford Language School, looking west



Plate 135: The fourth floor landing of Oxford Language School, looking east



Plate 136: The fourth floor landing of Oxford Language School, looking south



Plate 137: The fourth floor of Oxford Language School, looking east



Plate 138: The fourth floor of the Oxford Language School, looking east



Plate 139: The fourth floor of the Oxford Language School, looking south



Plate 140: The fourth floor of the Oxford Language School, looking south

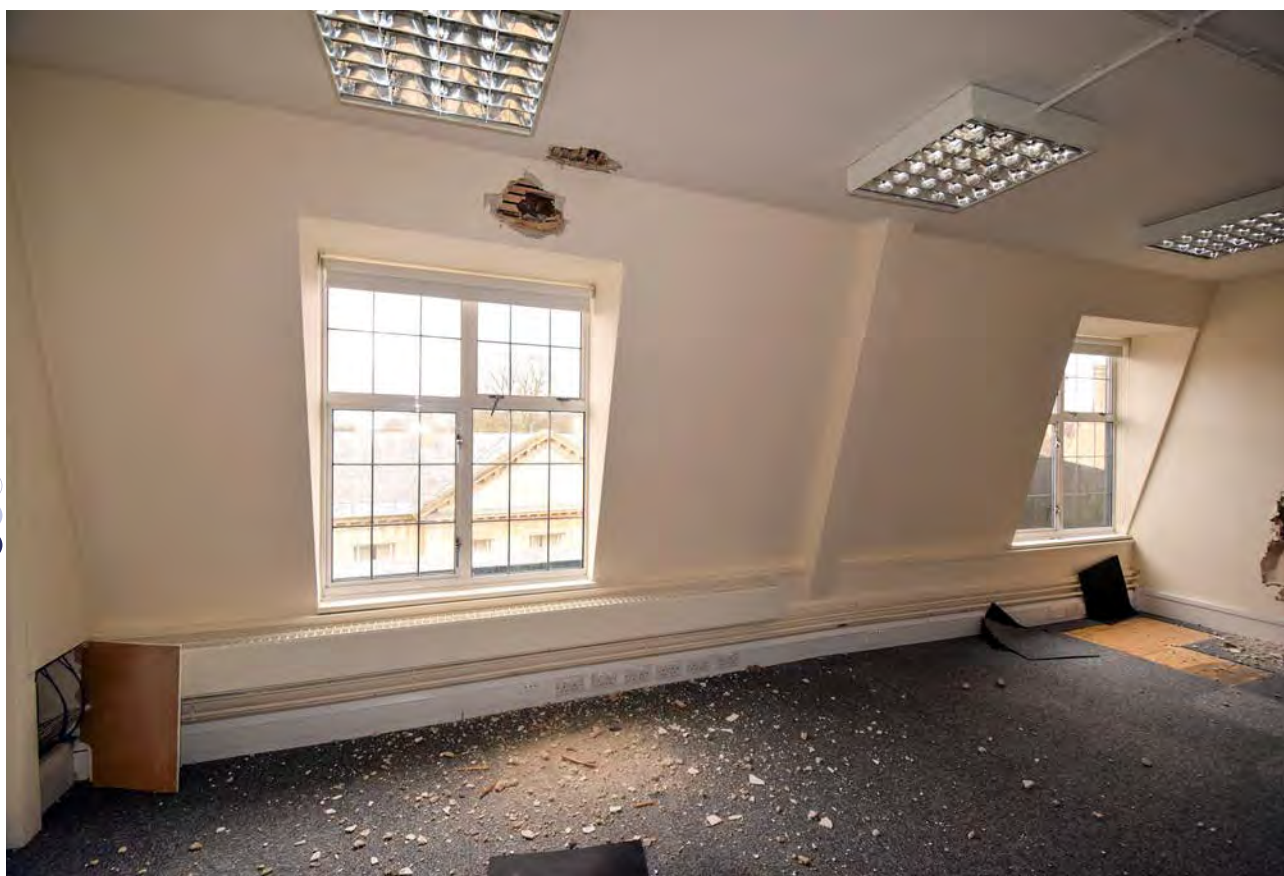


Plate 141: The fourth floor of the Oxford Language School, looking north-east



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